



AGENDA FOR THE PLANNING SUB COMMITTEE B

A meeting of the Planning Sub Committee B will be held in Committee Room 4, Town Hall, Upper Street, N1 2UD on, **18 September 2014 at 7.30 pm.**

John Lynch
Head of Democratic Services

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Despatched : 9 September 2014

Welcome:
Members of the public are welcome to attend this meeting.

Consideration of Planning Applications – This is a formal agenda where decisions are taken on planning applications submitted to the Council. Public speaking rights on these items are limited to those wishing to comment on specific applications. **If you wish to speak at the meeting please register by calling the Planning Department on 020 7527 2278 or emailing enquiriesplanning@islington.gov.uk**

<u>Committee Membership</u>	<u>Wards</u>	<u>Substitute Members</u>	
Councillor Klute (Chair)	- St Peter's;	Councillor Chowdhury	- Barnsbury;
Councillor Nicholls (Vice-Chair)	- Junction;	Councillor Convery	- Caledonian;
Councillor Kay	- Mildmay;	Councillor Fletcher	- St George's;
Councillor Khan	- Bunhill;	Councillor Gantly	- Highbury East;
Councillor Picknell	- St Mary's;	Councillor Makarau-Schwartz	- Junction;
		Councillor O'Sullivan	- Finsbury Park;
		Councillor A Perry	- St Peter's;
		Councillor R Perry	- Caledonian;
		Councillor Poole	- St Mary's;
		Councillor Poyser	- Hillrise;
		Councillor Smith	- Holloway;
		Councillor Spall	- Hillrise;
		Councillor Ward	- Holloway;
		Councillor Wayne	- Canonbury;
		Councillor Williamson	- Tollington;

Quorum: 3 councillors



A.	Formal Matters	Page
1.	Introductions	
2.	Apologies for Absence	
3.	Declarations of Substitute Members	
4.	Declarations of Interest	

If you have a **Disclosable Pecuniary Interest*** in an item of business:

- if it is not yet on the council's register, you **must** declare both the existence and details of it at the start of the meeting or when it becomes apparent;
- you may **choose** to declare a Disclosable Pecuniary Interest that is already in the register in the interests of openness and transparency.

In both the above cases, you **must** leave the room without participating in discussion of the item.

If you have a **personal** interest in an item of business **and** you intend to speak or vote on the item you **must** declare both the existence and details of it at the start of the meeting or when it becomes apparent but you **may** participate in the discussion and vote on the item.

***(a)Employment, etc** - Any employment, office, trade, profession or vocation carried on for profit or gain.

(b) Sponsorship - Any payment or other financial benefit in respect of your expenses in carrying out duties as a member, or of your election; including from a trade union.

(c) Contracts - Any current contract for goods, services or works, between you or your partner (or a body in which one of you has a beneficial interest) and the council.

(d) Land - Any beneficial interest in land which is within the council's area.

(e) Licences- Any licence to occupy land in the council's area for a month or longer.

(f) Corporate tenancies - Any tenancy between the council and a body in which you or your partner have a beneficial interest.

(g) Securities - Any beneficial interest in securities of a body which has a place of business or land in the council's area, if the total nominal value of the securities exceeds £25,000 or one hundredth of the total issued share capital of that body or of any one class of its issued share capital.

This applies to **all** members present at the meeting.

5.	Order of Business	
6.	Minutes of Previous Meeting	1 - 8

B.	Consideration of Planning Applications	Page
1.	1-115 Gambier House, Mora Street, London EC1V 8EJ.	9 - 24

2.	1-19 Arlington House, 2 Arlington Way, London EC1 1XB	25 - 38
3.	1-73 Haliday House, 2 Mildmay Street, London N1 4NF	39 - 52
4.	1-97 Ilex House, Crouch Hill, London N4 4BY	53 - 66
5.	114 Grosvenor Avenue, London, N5 2NY	67 - 86
6.	18 Alwyne Place, London, N1 2NL	87 - 108
7.	60 Mildmay Grove South London N1 4PJ	109 - 122
8.	8 St. Paul's Road, London N1 2QN	123 - 140
9.	Brecknock Estate, (16 Blocks) Brecknock Road, Islington, London, N19 5AN	141 - 154
10.	Lower ground floor, The Beaux-Arts Building 10-18 Manor Gardens N7 6JT	155 - 176

C. Consideration of other planning matters

D. Urgent non-exempt items

Any non-exempt items which the Chair is of the opinion should be considered as a matter of urgency and to consider whether the special circumstances included in the report as to why it was not included on and circulated with the agenda are acceptable for recording in the minutes.

E. Exclusion of press and public

To consider whether, in view of the nature of the remaining items on the agenda, it is likely to involve the disclosure of exempt or confidential information within the terms of the Access to Information Procedure Rules in the Constitution and, if so, whether to exclude the press and public during discussion thereof.

F. Confidential/exempt items

G. Urgent exempt items (if any)

Any exempt items which the Chair agrees should be considered urgently by reason of special circumstances. The reasons for urgency will be agreed by the Chair and recorded in the minutes.

Date of Next Meeting: Planning Sub Committee B, 6 November 2014

Please note all committee agendas, reports and minutes are available on the council's website:

www.democracy.islington.gov.uk

PROCEDURES FOR PLANNING SUB-COMMITTEES

Planning Sub-Committee Membership

Each Planning Sub-Committee consists of five locally elected members of the council who will decide on the applications for planning permission.

Order of Agenda

The Chair of the Planning Sub-Committee has discretion to bring forward items, or vary the order of the agenda, where there is a lot of public interest.

Consideration of the Application

After hearing from council officers about the main issues of the proposal and any information additional to the written report, the Chair will invite those objectors who have registered to speak for up to three minutes on any point relevant to the application. If more than one objector is present for any application then the Chair may request that a spokesperson should speak on behalf of all the objectors. The spokesperson should be selected before the meeting begins. The applicant will then be invited to address the meeting also for three minutes. These arrangements may be varied at the Chair's discretion.

Members of the Planning Sub-Committee will then discuss and vote to decide the application. The drawings forming the application are available for inspection by members during the discussion.

Please note that the Planning Committee will not be in a position to consider any additional material (e.g. further letters, plans, diagrams etc.) presented on that evening. Should you wish to provide any such information, please send this to the case officer a minimum of 24 hours before the meeting. If you submitted an objection but now feel that revisions or clarifications have addressed your earlier concerns, please write to inform us as soon as possible.

What Are Relevant Planning Objections?

The Planning Sub-Committee is required to decide on planning applications in accordance with the policies in the Development Plan unless there are compelling other reasons. The officer's report to the Planning Sub-Committee will refer to the relevant policies and evaluate the application against these policies. Loss of light, openness or privacy, disturbance to neighbouring properties from proposed intrusive uses, over development or the impact of proposed development in terms of size, scale, design or character on other buildings in the area, are relevant grounds for objection. Loss of property value, disturbance during building works and competition with existing uses are not. Loss of view is not a relevant ground for objection, however an unacceptable increase in sense of enclosure is.

For further information on how the Planning Sub-Committee operates and how to put your views to the Planning Sub-Committee please call Zoe Crane/Jackie Tunstall on 020 7527 3044/3068. If you wish to speak at the meeting please register by calling the Planning Department on 020 7527 2278 or emailing enquiriesplanning@islington.gov.uk

Agenda Item 6

London Borough of Islington

Planning Sub Committee B - 15 July 2014

Minutes of the meeting of the Planning Sub Committee B held at Committee Room 4, Town Hall, Upper Street, N1 2UD on 15 July 2014 at 7.30 pm.

Present: **Councillors:** Martin Klute (Chair), Tim Nicholls (Vice-Chair), Jenny Kay and Angela Picknell

Councillor Martin Klute in the Chair

9 **INTRODUCTIONS (Item A1)**

Councillor Klute welcomed everyone to the meeting. Members of the Sub-Committee and officers introduced themselves. The Chair explained that the Committee would deal with the determination of planning applications and outlined the procedures for the meeting.

10 **APOLOGIES FOR ABSENCE (Item A2)**

Councillor Robert Khan.

11 **DECLARATIONS OF SUBSTITUTE MEMBERS (Item A3)**

Councillor David Poyser attended as a substitute for Councillor Robert Khan.

12 **DECLARATIONS OF INTEREST (Item A4)**

Councillor David Poyser declared an interest in Item B4, 30-32 Dresden Road, N19 as he had expressed views on the item. Councillor Tim Nicholls declared an interest in Item B9, Pakeman Primary School, as a governor of Pakeman School. Neither took part in any discussions on these items.

13 **ORDER OF BUSINESS (Item A5)**

The order of business would be:- B5, B4, B7, B3, B1, B2, B6, B8 and B9.

14 **MINUTES OF PREVIOUS MEETING (Item A6)**

RESOLVED:

That the minutes of the meeting held on the 24 June 2014 be confirmed as an accurate record of proceedings and the Chair be authorised to sign them.

15 **15, 16 AND 17 PLEASANT PLACE, N1 2BZ (Item B1)**

Part single storey, part three storey rear extension to facilitate internal refurbishment and reconfiguration to the existing 7 self-contained flats to provide 9 self-contained flats (2 x 3 bed, 3 x 2 bed and 4 x 1 bed flats). (Planning application number: P2014/0752/FUL).

In the discussion the following points were considered:-

- The extension would be constructed in materials to match existing and was therefore considered to integrate with the original property.
- The depth of the three storey element had been reduced to 3m from a previously refused application.
- Each garden would measure in excess of 30m² in line with planning policy.

Planning Sub Committee B - 15 July 2014

Councillor Kay proposed a motion regarding the approval of materials which was seconded by Councillor Klute. Councillor Nicholls proposed a motion regarding landscaping which was seconded by Councillor Klute.

RESOLVED:

That planning permission be granted subject to the conditions, informatives and Section 106 agreement as detailed in the report and the amendment to condition 3 for windows and materials to be approved prior to commencement and an additional condition regarding approval of landscaping in line with paragraph 10.15 of the report, the wording to be delegated to officers and appended to the minutes.

16 168 UPPER STREET, N1 (Item B2)

Redevelopment of the site to provide a 6 storey plus basement building with retail A1 uses at basement and ground floor level, the creation of 3 self contained residential units (3 x 2 beds), new ground floor shop frontages and associated alterations. (Planning application number: P2014/0189/FUL).

In the discussion the following points were considered:-

- Members raised concerns regarding the colour of the panels that would be used.

Councillor Klute proposed a motion which was seconded by Councillor Kay.

RESOLVED:

That planning permission be granted subject to the conditions, informatives and completion of a unilateral undertaking and subject to the amendment to condition 3 to ensure that materials are approved prior to commencement of works and an informative that materials were to be approved by the Sub-Committee.

17 2A- 9 MORAY MEWS, N7 (Item B3)

Demolition of existing buildings and erection of 8 no. residential units comprising 7 x 2 bedroom houses and 1 x 3 bed house with associated refuse stores, cycle storage and landscaping. (Planning application number: P2014/1522/FUL).

In the discussion the following points were considered:-

- The Sub-Committee noted that the scheme had been modified following a previous refusal. The height had been reduced and the design included intermittent gaps and chamfered corners to prevent a sense of enclosure, loss of light and to accommodate neighbours concerns.

RESOLVED:

That planning permission be granted subject to the conditions, informatives and Section 106 agreement as detailed in Appendix 1 of the report.

18 30-32 DRESDEN ROAD, N19 (Item B4)

Erection of a two storey dwelling to rear of 30 - 32 Dresden Road on existing hard-standing with additional basement. (Planning application number: P2013/4213/FUL).

In the discussion the following points were considered:-

- An enforcement investigation was currently being undertaken regarding the unauthorised pruning of two protected trees on site. It was considered that the

pruning had not facilitated the development of the two-storey house. Any future prosecution was not considered to be a material factor for the Sub-Committee.

- Two trees were to be retained and two further trees were to be planted to replace those previously removed. All would be subject to Tree Preservation Orders.
- A scheme of protection had been submitted and was considered sufficient by the Tree Preservation Officer to protect the existing trees through the construction process.
- The proposal would be effectively single storey by virtue of the basement excavation and was not considered to result in an unreasonable level of visual bulk.

RESOLVED:

That planning permission be granted subject to conditions, informatives and the signing of an Unilateral Undertaking as set out in Appendix 1 of the report.

19

9 DALLINGTON STREET, EC1 (Item B5)

Erection of a fourth floor rear extension and fifth floor roof extension to provide an increase in office floorspace (Use class B1) along with 3 x residential flats (Use class C3) (2x2bed and 1x3 bed units) together with associated works and external alterations, provision of private amenity space, landscaping and installation of 10x no.condenser units within a screened enclosure at roof level. Internal alterations at the ground floor level to create new residential entrance and insertion of two new roof lights at the rear. (Planning application number: P2014/1604/FUL)

The Sub-Committee noted that all reference to the Area Team Leader in the recommendation would be deleted.

In the discussion the following points were considered:-

- The Sub-Committee considered that the issue of the overlooking had been dealt with by the applicant;
- The Conservation Area Design Guide stated that buildings should be limited to 18 metres in height. The Sub-Committee were concerned that the proposed development would measure 19 metres in height;
- That the daylight/sunlight report was based on an assumption that the classrooms to the school had dual aspect. On a site visit, members noted that classrooms were commonly divided by bookshelves and room dividers and would gain light from windows on one side of the room only.
- The daylight/sunlight engineer reported that if classrooms were partitioned the report would have been modelled differently.

Councillor Klute proposed a motion which was seconded by Councillor Kay.

RESOLVED:

That planning permission be refused for the reasons of the height of the development and loss of light to the school. Wording to be delegated to officers and appended to the minutes.

20

AMBLER PRIMARY SCHOOL, 80 BLACKSTOCK ROAD, N4 (Item B6)

Erection of a single storey (standalone) building adjacent to the Blackstock Road frontage to provide a dedicated building to accommodate the breakfast and after schools clubs, enabling the additional first form entry class to be located adjacent to the existing within the main building; insertion of new entrance door within the existing front boundary wall. (Planning application number: P2014/2012/FUL).

In the discussion the following points were considered:-

- The additional space was required as soon as possible to accommodate demand for additional school places.
- There would be a new pedestrian access from Blackstock Road to allow direct access. There was concern that this could allow direct access for school children onto the main road.

Councillor Kay proposed a motion which was seconded by Councillor Klute.

RESOLVED:

That planning permission be granted subject to the conditions and informatives in the report and an additional informative to allow the addition of safety railings outside the entrance.

21

GRAFTON JUNIOR SCHOOL, 9 EBURNE ROAD, N7 (Item B7)

Erection of a single storey structure for use as a classroom. (Planning application number: P2014/1243/FUL).

In the discussion the following points were considered:-

- Permission had expired for two temporary portacabins previously on site. One portacabin had recently been removed. The remaining portacabin was in disrepair and was not sufficiently sized.
- The proposed portacabin was to house a bulge class for one year group.
- The bulge class had commenced September 2013 and had a further 6 years at the school. The applicant therefore requested that the temporary permission be for six years.
- There was concern that the school had used temporary accommodation for over 12 years and it was considered that a more permanent solution should be pursued.
- Unauthorised car parking on the site encroached on the existing playspace and this could be rectified by condition.

Councillor Nicholls proposed a motion which was seconded by Councillor Poyser regarding the length of time for the grant of approval.

Councillor Klute proposed a motion regarding the car parking which was seconded by Councillor Kay.

RESOLVED:

That planning permission be granted subject to the conditions and informatives in the report and amendments to conditions 3 and 4 and an additional informative, the wording to be delegated to officers and appended to the minutes.

22

MONTEM PRIMARY SCHOOL, N7 (Item B8)

The removal of the existing single storey canopy to the rear of the playground and the construction of a single storey extension to provide a dedicated Two-Year-Old Facility for pre nursery infants. (Planning application number: P2014/1604/FUL).

RESOLVED:

That planning permission and listed building consent be granted subject to the conditions and informatives detailed in the report.

- 23** **PAKEMAN PRIMARY SCHOOL, HORNSEY ROAD, N7 (Item B9)**
The removal of the existing single storey canopy, adjacent to the Hornsey Road frontage, and the construction of a single storey extension with roof lights to provide a dedicated Two-Year-Old Facility for pre nursery infants. (Planning application number: P2014/1863/FUL).

RESOLVED:

That planning permission be granted subject to the conditions and informatives detailed in the report.

The meeting ended at 10.45 pm

CHAIR

WORDING DELEGATED TO OFFICERS

MINUTE 15

15, 16 AND 17 PLEASANT PLACE, N1 2BZ (Item B1)

Amended condition 3.

CONDITION: Prior to the commencement of development, details/samples of the facing materials (including the facing brickwork and windows) of the development hereby approved shall be submitted to and approved in writing by the Local Planning Authority and shall be maintained as such thereafter.

REASON: To ensure that the appearance of the building is acceptable

Additional condition.

CONDITION: A landscaping scheme shall be submitted to and approved in writing by the Local Planning Authority prior to works commencing on site. The landscaping scheme shall include the following details:

- a) the proposed hard and soft landscaping to the rear of the site.
- b) the location of any trees
- c) enclosures: including types, dimensions and treatments of walls, fences, screen walls, barriers, rails, retaining walls and hedges; and
- d) any other landscaping feature(s) forming part of the scheme.

All landscaping in accordance with the approved scheme shall be completed/planted during the first planting season following practical completion of the development hereby approved. The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.

REASON: In the interest of biodiversity, sustainability, and to ensure that a satisfactory standard of visual amenity is provided.

MINUTE 16

168 UPPER STREET, N1 (Item B2)

Revised condition 3.

CONDITION: Details and samples of all facing materials and detailed drawings of all elevations shall be submitted to and approved in writing by the Local Planning Authority prior to any works commencing on site. These shall include:

- a) detailed elevation drawings at scale appropriate to show the precise profile and configuration of the moulded terracotta cladding panels and style of joint between panels
- b) sample panel of a minimum of two moulded terracotta cladding panels showing colour and texture and style of joint between panels
- c) details (including sections and reveals) and sample of window frames showing colour and texture
- d) details and sample of roofing materials
- e) details and elevations of the shopfronts and samples showing colour and texture
- f) any other materials to be used

The development shall be carried out strictly in accordance with the details and samples so approved, shall be maintained as such thereafter and no change therefrom shall take place without the prior written consent of the Local Planning Authority.

Planning Sub Committee B - 15 July 2014

REASON: In the interests of securing sustainable development and to ensure that the resulting appearance and construction of the development is of a high standard.

Additional informative.

Your intention is drawn to the fact that any future submission of details for approval in relation to Condition 3 (facing materials) will need to be considered by Planning Sub Committee B if recommended favourably.

MINUTE 19

9 DALLINGTON STREET, EC1 (Item B5)

Reason for refusal.

The proposed development, by reason of the additional height in close proximity to the site boundary, would result in a detrimental material impact on the amenity of the neighbouring Dallington School by virtue of an unacceptable loss of daylight. As such the proposal would be contrary to policy DM2.1 of the Development Management Policies June 2013 together with the guidance within the Hat and Feathers Conservation Area Guidelines.

MINUTE 20

AMBLER PRIMARY SCHOOL, 80 BLACKSTOCK ROAD, N4 (Item B6)

Additional informative.

The applicant is advised to discuss with the Highways Department prior to the commencement of works the installation of safety railings on the pavement in front of the proposed entrance.

MINUTE 21

GRAFTON JUNIOR SCHOOL, 9 EBURNE ROAD, N7 (Item B7)

Revised condition 3.

CONDITION: The hereby approved single storey structure is granted only for a limited period until 04 August 2017, on or before that date the structure and all its associated/ ancillary goods shall be dismantled and removed from the site and the land shall be reinstated to the condition as evident prior to the erection of the temporary building hereby approved or another condition as agreed in writing by the Local Planning Authority.

REASON: The temporary building is such that the Local Planning Authority is only prepared to grant permission for a limited period.

Revised condition 4.

CONDITION: Notwithstanding the approved drawings, details of new fencing which would separate the classroom from the rest of the playground and car park shall be submitted within three months of the permission and approved in writing by the Local Planning Authority. Details of which shall be fully implemented and maintained as such for the lifetime of the temporary classroom.

REASON: To ensure the safety and amenity of children.

Additional informative.

INFORMATIVE: The applicant is advised that they should actively develop a strategy for a more permanent solution to the future provision of classroom space and this should be submitted with any new planning application for the renewal of this permission.

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PLANNING COMMITTEE REPORT

Development Management Service
Planning and Development Division
Environment and Regeneration Department
PO Box 333
222 Upper Street
LONDON N1 1YA

PLANNING SUB-COMMITTEE B		AGENDA ITEM NO:	
Date:	18 th September 2014		

Application number	P2013/4624/FUL
Application type	Full
Ward	Bunhill
Listed building	Not listed
Conservation area	Not in a conservation area
Development Plan Context	
Licensing Implications	N/A
Site Address	1-115 Gambier House, Mora Street, London EC1V 8EJ.
Proposal	The overcladding of the external walls with a rainscreen cladding system.

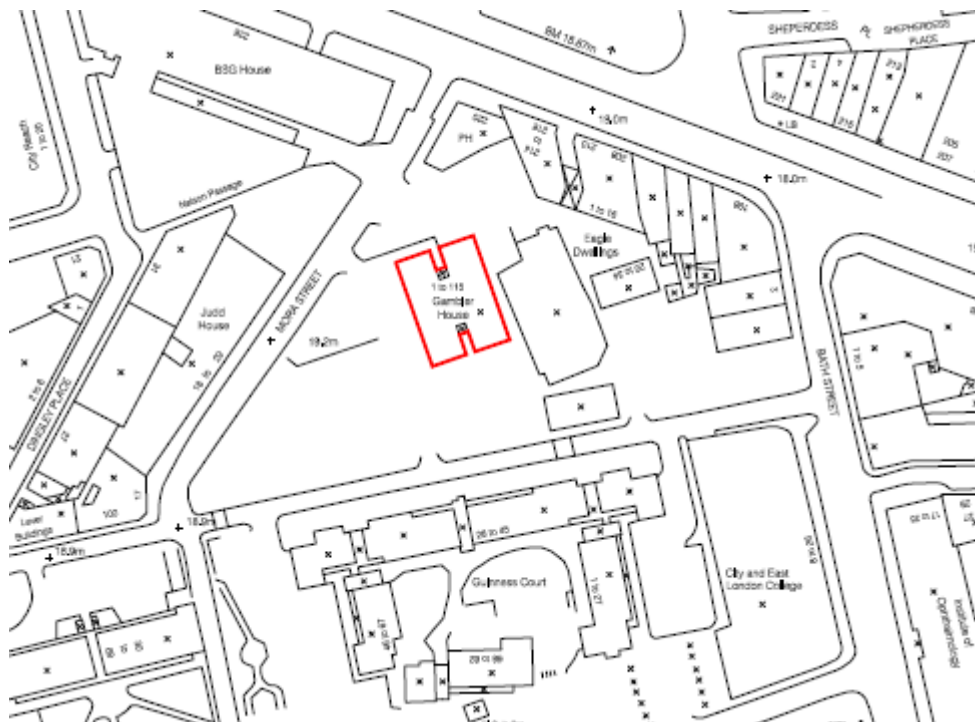
Case Officer	Ashley Niman
Applicant	London Borough of Islington
Agent	Islington Council Architects

1. RECOMMENDATION

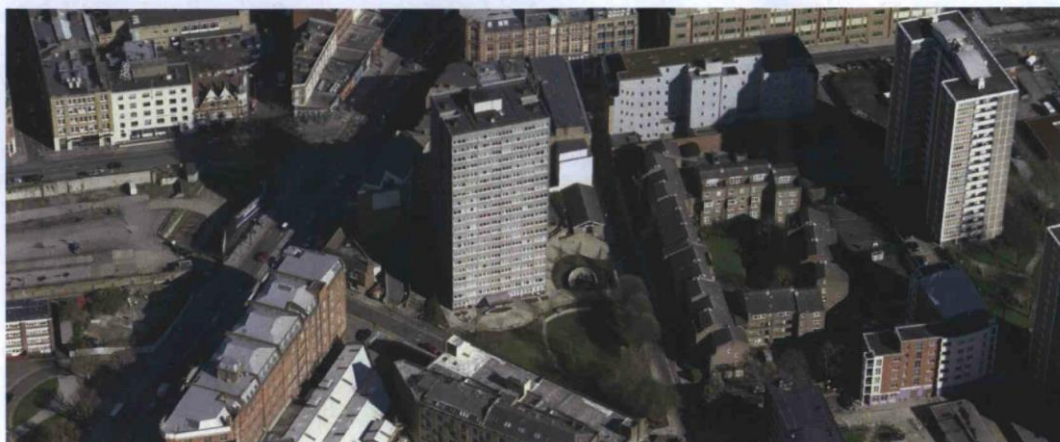
The Committee is asked to resolve to **GRANT** planning permission:

1. for the reasons for approval;
2. subject to the conditions set out in Appendix 1;

2. SITE PLAN (site outlined in bold)



3. AERIAL SHOT/PHOTOS OF SITE/STREET AT MORA STREET



Aerial View



4. SUMMARY

- 4.1 The proposal forms part of a borough-wide programme to install various energy saving measures across all housing tenure in order to help overcome fuel poverty.
- 4.2 The principal issues arising from the programmed relate to, firstly, the appearance of the building following the insulation measures, and secondly, the effectiveness of the measures to overcome a number of problems residents currently face, in particular, damp, condensation and lack of insulation in winter, and summertime overheating.
- 4.3 The new cladding system has been developed to ensure that its appearance enhances the building, provides visual interest, integrity and quality, and covers up numerous previous unsightly repairs and cables. The system is designed to ensure that services remain accessible behind the panels.
- 4.4 The introduction of a new cladding system will bring a range of benefits to residents including a reduction in fuel bills, a healthier internal residential environment with a reduction in damp and mould, and a warmer room environment in winter and a cooler room environment in summer.
- 4.5 It is recommended that the application is approved subject to conditions.

5. SITE AND SURROUNDING

- 5.1 Gambier House was constructed in 1968 and is a 20 storey tower block, comprising 115 flats. The block is located on a triangular site between Mora Street and Lever Street. A small park is immediately adjacent to the south whilst surrounding properties, of between two and seven storeys, are in both commercial and residential uses.
- 5.2 Gambier House is constructed using the Bison panel wall frame system developed in the early 1960s for blocks of up to 24 storeys. The system comprises load bearing storey-height precast reinforced concrete flank wall and cross wall panels.
- 5.3 The block itself is currently clad in structural concrete sandwich panels, which are faced with exposed aggregate concrete.
- 5.4 The residential block is not listed nor is it in a conservation area.

6. PROPOSAL (IN DETAIL)

- 6.1 The overcladding of the external walls from first floor upwards with a rainscreen cladding system to improve the thermal performance of the existing building. The proposal would use an Eternit Equitone cladding panel

system, from the Tectiva range. The ground floor elevations will remain as is with brick panels retained.

- 6.2 **Revisions.** Following the submission of the applications in November 2013, there has been a series of discussions and meeting between the architects and planning and design officers with recommendations made to improve the appearance of the proposal.
- 6.3 The particular kind of material, the cladding arrangement, colour, texture and fixings have all been examined and developed to produce a more coherent, calmer and integrated approach and design, than originally proposed. This has ensured that the recommended scheme is more sympathetic to the original building design intent.

7. RELEVANT HISTORY:

- 7.1 The 20 storey residential block was constructed in the late 1960s using the Bison wall system which was commonly used for this form of development across the UK.

PLANNING APPLICATIONS:

- 7.2 P030056. The replacement of the existing windows with white powder coated aluminium pivot and casement double glazed windows to all elevations. Approved 05/03/2003.
- 7.3 P070187. Replacement of single glazed windows with double glazed units in UPVC frames incorporating tilt and turn casements. Approved 28/04/2007.
- 7.4 P080687. Landscape improvements to Gambier House. Approved 14/05/2008.
- 7.5 P101338. Change of use of caretaker's room to tenant management office. Approved 27/09/2010.

ENFORCEMENT:

- 7.6 There has been no relevant enforcement action relating to the property.

8. CONSULTATION

Public Consultation

- 8.1 Letters were sent to occupants of 389 adjoining and nearby properties at Lever Street, Mora Street, Dingley Place, Dingley Road, Bath Street and City Road on 1st August 2014. A site notice was displayed on 1st August and a press notice posted. The public consultation of the application therefore expired on 28th August 2014; however it is the Council's practice to continue to consider representations made up until the date of a decision.

- 8.2 At the time of the writing of this report one response had been received from a member of the public, living in Dingley Place, with regard to the application. This is not an objection per se but a reservation in regard to the proposed colour scheme for Gambier House, in the light of a recently completed project on City Road close to the Eagle public house. This issue is covered in paragraph 10.9 of the report.

Internal Consultees

- 8.3 Design and Conservation Officer: The Design and Conservation Officer who has been involved in discussions from first submission and following a series of meetings exploring design composition, material and examples of their application, is now satisfied with the submitted proposals.

Energy Conservation Officer: The proposals have been reviewed and all align with the aims laid out in Islington's Core Strategy and Environmental Design SPD (see p2-3 for example), to address fuel poverty, carbon emissions and the associated health impacts that these and buildings with poor thermal performance can have. The proposals also align with Islington's policies around sustainable construction. Specific comments are made about particular aspects of the programme and these are discussed in the assessment section.

9. RELEVANT POLICIES

Details of all relevant policies and guidance notes are attached in Appendix 2. This report considers the proposal against the following development plan documents.

National Guidance

- 9.1 The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

Development Plan

- 9.2 The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The policies of the Development Plan are considered relevant to this application and are listed at Appendix 2 to this report.

Designations

- 9.3 The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

none

Supplementary Planning Guidance (SPG) / Document (SPD)

- 9.4 The following SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

10. ASSESSMENT

- 10.1 The main issues arising from this proposal relate to:

- The design and the impact of the proposed cladding system on the appearance of the building and the wider neighbourhood.
- Energy efficiency and benefits of proposed cladding for residents.

Design and the proposed appearance of the building

- 10.2 Gambier House is constructed using the Bison panel wall frame system. The block itself is currently clad in structural concrete sandwich panels, which are faced with exposed aggregate concrete.
- 10.3 Gambier House is a prominent structure within the townscape of City Road and Lever Street and the changes to the external cladding system will be very visible over a wide area. Reflective of this there has been an extensive consultation period between the Council's planning and design officers, and the architects. The scheme as now presented represents the results of these discussions and recommendations.
- 10.4 From the outset it has been important that the ordered and rational 1960's façade should be reflected in the proposed cladding system. An ordered design rather than a random pattern was therefore required. The proposal now reflects this without copying the original design.
- 10.5 In terms of the material itself, four simple panel types are proposed from the Eternit Equitone cladding panel system. The Tectiva range has been selected for its modelled surface, matt colours and variation in texture.
- 10.6 The principal material for the cladding to the main elevations to the front and rear will be the Linear Tectiva panels, which offer a grooved texture that strongly suggests the ribbed effect of concrete as well as an emphasis on the vertical.
- 10.7 Verticality has always been an important part of the requirements of the new design. The introduction of thin, dark coloured Tectiva Mineral Black vertical

panels between the main Linear Tectiva panels, with their vertical grooves, to the front and rear elevations, and the use of Tectiva Pebble panels to the recessed central sections of the flank elevations between the Tectiva Calico cream panels will help achieve this vertical emphasis, as will the framing of the main elevations with additional slim panels from the Calico cream range.

- 10.8 The overcladding will give depth to the façades. The proposed design creates depth by framing the main elevations and forming deep window reveals, and producing shadow lines.
- 10.9 A letter from a nearby resident expresses concerns over rainscreen cladding following a new development (in Hackney) where bright coloured panels have been fixed adjacent to black panels to 'disastrous effect'. The resident seeks assurance that officers will give careful consideration to the choice of colours for Gambier House and suggests shades of white. Officers are acutely aware of the new development to which the resident refers and have taken considerable steps to avoid such a finish being replicated.
- 10.10 The careful detailing of rainscreen cladding is important in achieving a satisfactory appearance. Wherever possible, cladding panels will be fixed by a concealed fixing structural bonding system. The only exception will be where existing gas services are fixed to the façade. The gas risers can be enclosed with perforated cladding panels but these must be easily removable and will therefore be surface fixed with small screw fixings, powder coated to match the colour of the cladding. They will be almost invisible to the naked eye when viewed from ground level. Surface fixed panels represent a very small part of the surface area of the entire block.
- 10.11 The proposal for the new cladding system does not affect other parts of the building and there is no proposal at present to change either the entrance doors or the fenestration systems, although window cills will be renewed. The retention of the existing brick panels and Bison concrete panels at ground floor level does not detract from the overall design composition.
- 10.12 The combination of the carefully selected materials, their colours, and their application to the building in terms of the arrangement of the different colours and positions, to ensure verticality, order and depth to the façade and an attention to the detailing of fixings, will result in a well designed set of elevations respectful to the integrity of the original building.
- 10.13 The proposed design is considered to comply with policy CS9 which seeks high quality architecture that enhances Islington's built environment and policy DM2.1 in demonstrating architectural design quality and detailing.

Energy Efficiency and the benefits of the new cladding system to the environment and to the residents

- 10.14 The proposed external insulation works to Gambier House are part of an initiative by Islington Council aimed at reducing fuel poverty, providing improved insulation and reducing CO2 emissions. The project will improve the affordability of housing by reducing heating bills, and the quality of housing by

reducing damp, mould and condensation. The works will also reduce health inequality and health outcomes for residents as a result of the improved internal environment and resultant reductions in fuel consumption and fuel bills.

- 10.15 The original method of construction using large concrete panels has meant that the external sandwich panels that make up the external walls have poor thermal insulation properties, and the thin sheets of insulation that were cast into the solid concrete external walls are inadequate by modern standards. In addition the Bison system has several uninsulated junctions, which form cold bridges through the external envelope. The result is high U values and very poor thermal insulation.
- 10.16 The proposed rainscreen cladding is a form of double wall construction that uses an outer layer to keep the rain out and an inner layer to provide thermal insulation, prevent excessive air leakage and carry wind loading. The structural frame of the building is kept absolutely dry as water never reaches it or the thermal insulation. The insulation will reduce the capacity of heat to pass through the external wall. In winter this will mean that heat within the dwelling will not disperse through the wall to the (colder) outside air. In summer the opposite effect will prevail: heat from the sun will less easily pass through the insulation and external wall into the dwelling and therefore reducing instances of overheating. An estimated 5282 kWh annual energy saving per property would be made using the national Carbon Emissions Reduction Target figures published by OFGEM and applied to this specific Islington Council owned stock type.
- 10.17 It is estimated that the project will save approximately £245 per year from each households heating bills. The system is low maintenance and has an expected life span of at least 50 years.
- 10.18 Potential summertime overheating happens as the flats currently gain heat through solar gains via the concrete walls. This effect is greatest for the taller blocks, which experience more exposure to sunlight and whose walls are highly absorbent of solar radiation. This heat collected is then transferred to the properties inside. The presence of external insulation should reduce summer heat gains through two means. Firstly, the new surfaces of the weatherproof rainscreen will absorb much less solar heat than the current walls do. Secondly, the insulating layer will reduce the passage of heat from the weatherproof rainscreen through the walls to the interior of the flats. The properties themselves have significant thermal mass (from the concrete structure) and ventilation available (through background ventilation and openable windows). Therefore, the external insulation systems can make a significant contribution to reducing summer overheating within the blocks. The increase in depth of windows reveals would also make a small contribution to reducing solar gain through the building's windows.
- 10.19 The particular system proposed, the Equitone system, is robust, non-reactive and self cleaning. This low maintenance system is well suited to tall building overcladding design.

- 10.20 The application does not propose measures that will create emissions through direct energy use, so no assessment of emissions or offset is required in this case
- 10.21 For an application of this type, assessment of the properties using either the BREEAM or Code for Sustainable Homes methodologies is not required.
- 10.22 The proposed work is considered to comply with policy CS10 which seeks to minimise Islington's contribution to climate change, and policies DM7.1, DM7.2 and DM7.5 which seek to integrate best practice sustainable design standards, best practice energy efficiency standards and maximise passive design measures to control heat gain and deliver passive cooling.

11. SUMMARY AND CONCLUSION

Summary

- 11.1 The proposal is welcome as part of the Council's programme to reduce fuel poverty across the Borough.
- 11.2 The proposed external insulation works will improve the affordability of housing by reducing heating bills, and the quality of housing by reducing damp, mould and condensation, but will also help reduce summer overheating. The works will also reduce health inequality and health outcomes for residents as a result of the improved internal environment and resultant reductions in fuel consumption and fuel bills, and reduced CO2 emissions will serve a wider environmental benefit.
- 11.3 The design, material and texture of the proposed cladding system will ensure that the integrity and character of the original concrete façade is retained whilst providing a modern, dignified and attractive appearance that will enhance the building.

Conclusion

- 11.4 It is recommended that planning permission be granted subject to conditions for the reasons and details as set out in Appendix 1 - RECOMMENDATIONS.

APPENDIX 1 – RECOMMENDATIONS

RECOMMENDATION A

That the grant of planning permission be subject to **conditions** to secure the following:

List of Conditions:

1	3 Year Consent Period
	<p>CONDITION: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.</p> <p>REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).</p>
2	Approved plans list
	<p>CONDITION: The development hereby approved shall be carried out in accordance with the following approved plans:</p> <p>GH-00, GH-01, GH-02, GH-03, GH-04, GH-05, GH-06 revA, GH-07 revA, GH-08 revA, GH-09 revA, GH-10 revA, GH-11 revA, GH-12, Design and Access Statement rev A (July 2014).</p> <p>REASON: To comply with Section 70(1)(a) of the Town and Country Act 1990 as amended and also for the avoidance of doubt and in the interest of proper planning.</p>

List of Informatives:

1	Positive Statement
	<p>To assist applicants in a positive manner, the Local Planning Authority has produced policies and written guidance, all of which is available on the Council's website.</p> <p>A pre-application advice service is also offered and encouraged. Whilst no substantive pre-application discussions were entered into, the applicant worked in a proactive manner with the Local Planning Authority, taking into consideration the policies and guidance available to them, and therefore the LPA delivered a positive decision in accordance with the requirements of the NPPF.</p>

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

1 National Guidance

The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

2. Development Plan

The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2011 - Spatial Development Strategy for Greater London

1 Context and strategy

Policy 1.1 Delivering the strategic vision and objectives for London

3 London's people

Policy 3.1 Ensuring equal life chances for all

Policy 3.2 Improving health and addressing health inequalities

Policy 3.5 Quality and design of housing developments

5 London's response to climate change

Policy 5.1 Climate change mitigation

Policy 5.2 Minimising carbon dioxide emissions

Policy 5.3 Sustainable design and construction

Policy 5.9 Overheating and cooling

7 London's living places and spaces

Policy 7.1 Building London's neighbourhoods and communities

Policy 7.4 Local character

Policy 7.6 Architecture

B) Islington Core Strategy 2011

Spatial Strategy

Policy CS8 (Enhancing Islington's Character)

Policy CS10 (Sustainable Design)

Strategic Policies

Policy CS9 (Protecting and Enhancing Islington's Built and Historic Environment)

C) Development Management Policies June 2013

Design and Heritage

DM2.1 Design

Health and open space

DM6.1 Healthy development

Housing

DM3.2 Existing housing

DM3.4 Housing standards

Energy and Environmental Standards

DM7.2 Energy efficiency and carbon reduction in minor schemes

DM7.4 Sustainable design standards

DM7.5 Heating and cooling

3. Designations

The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

- none

- none

4. Supplementary Planning Guidance (SPG) / Document (SPD)

The following SPGs and/or SPDs are relevant:

Islington UDP

Environmental Design

- Urban Design Guide

London Plan

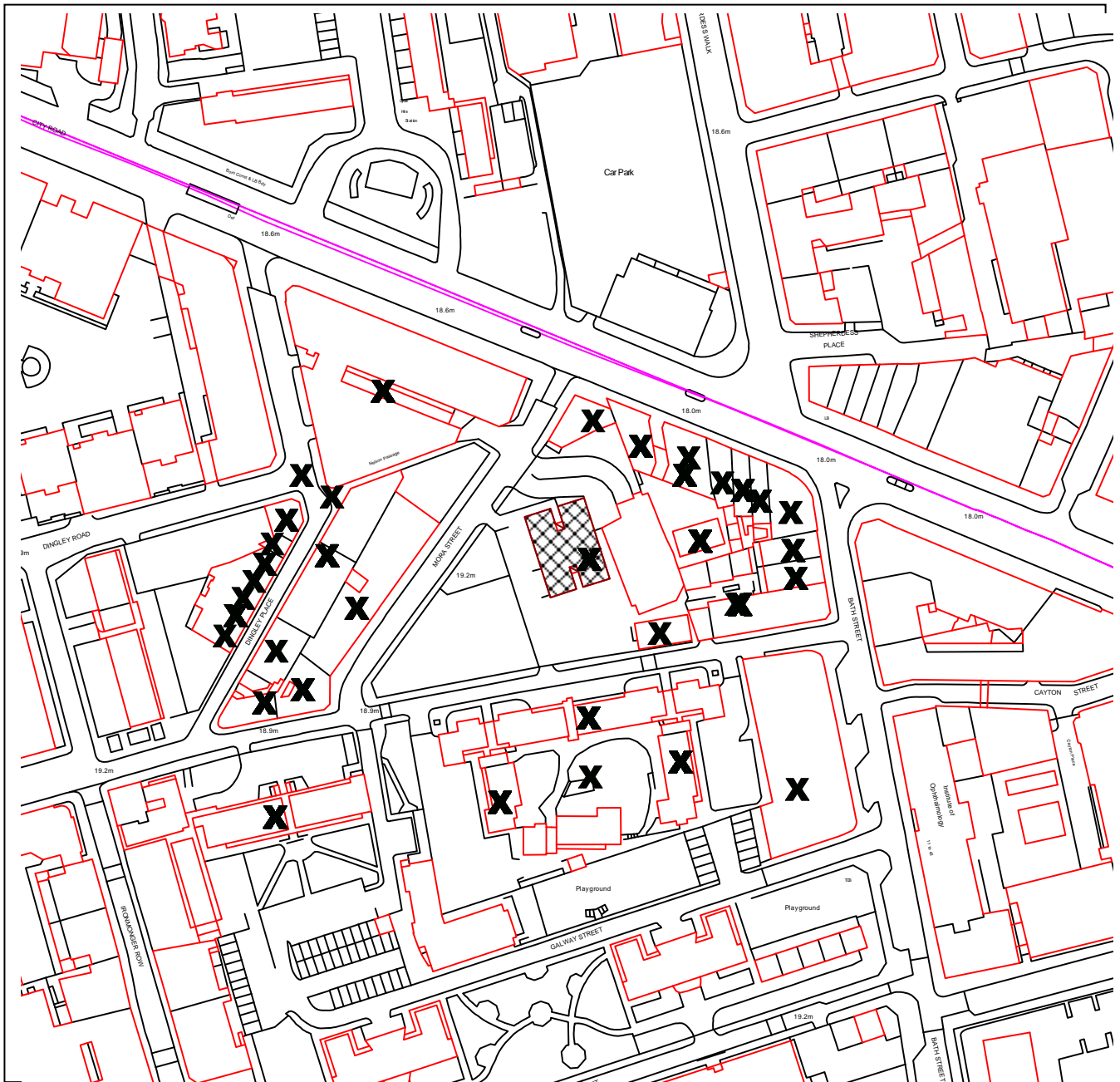
- Housing

- Sustainable Design & Construction

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ISLINGTON



DEVELOPMENT MANAGEMENT

PLANNING APPLICATION REF NO: P2013/4624/FUL

LOCATION: 1-115 GAMBIER HOUSE MORA STREET EC1V 8EJ

SCALE: 1:1800

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PLANNING COMMITTEE REPORT



PLANNING SUB-COMMITTEE B		AGENDA ITEM NO:	
Date:	18 th September 2014		

Application number	P2013/4627/FUL
Application type	Full
Ward	Clerkenwell
Listed building	Not listed
Conservation area	New River Conservation Area
Development Plan Context	
Licensing Implications	N/A
Site Address	1-19 Arlington House, 2 Arlington Way, London EC1 1XB
Proposal	The overcladding of the external walls with an insulation and render system.

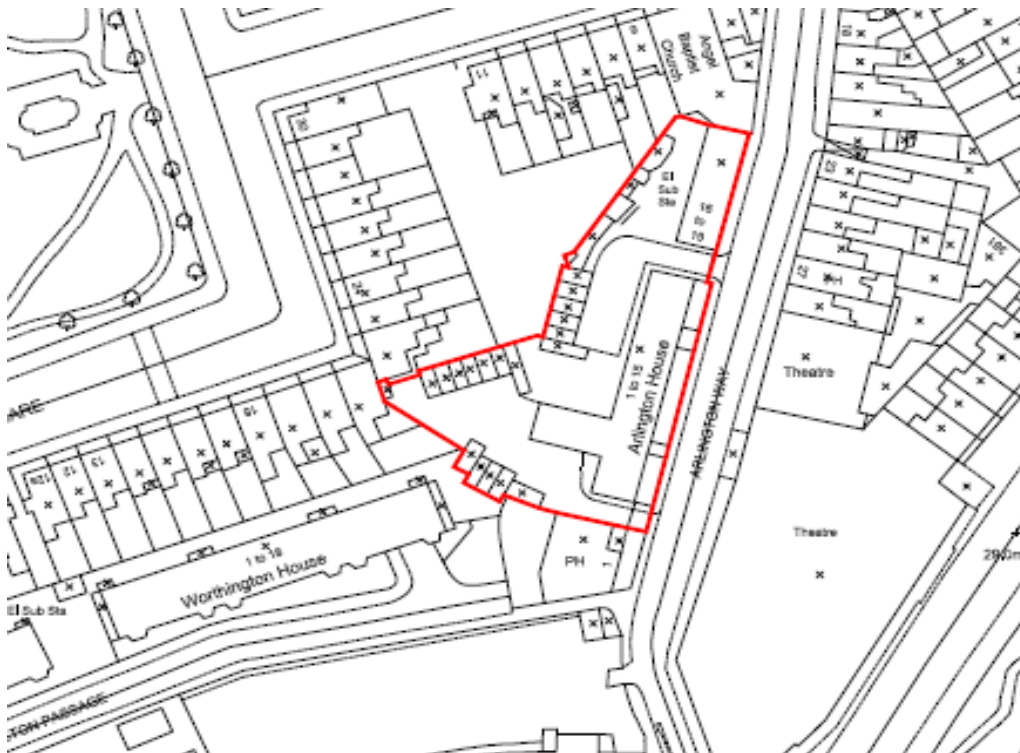
Case Officer	Ashley Niman
Applicant	London Borough of Islington
Agent	Islington Council Architects

1. RECOMMENDATION

The Committee is asked to resolve to **GRANT** planning permission:

1. for the reasons for approval;
2. subject to the conditions set out in Appendix 1;

2. SITE PLAN (site outlined in bold)



3. AERIAL SHOT AND PHOTOS OF SITE/STREET AT ARLINGTON WAY





Site Photos

4. SUMMARY

- 4.1 The proposal forms part of a borough-wide programme to install various energy saving measures across all housing tenure in order to help overcome fuel poverty.
- 4.2 The proposal is for the installation of externally applied insulation and render.
- 4.3 The principal issues arising from the programmed relate to, firstly, the appearance of the building following the insulation measures, and secondly, the effectiveness of the measures to overcome a number of problems residents currently face, in particular, damp, condensation and lack of insulation in winter, and summertime overheating
- 4.4 The new insulation and render system has been developed to ensure that its appearance enhances the building, provides visual interest, integrity and quality, and covers up numerous previous unsightly repairs and cables.
- 4.5 The introduction of a new insulation and render system will bring a range of benefits to residents including a reduction in fuel bills, a healthier internal residential environment with a reduction in damp and mould, and a warmer room environment in winter and a cooler room environment in summer.
- 4.6 It is recommended that the application is approved subject to conditions.

5. SITE AND SURROUNDING

- 5.1 Arlington House was constructed in 1958 using the Unity prefabricated panel construction system and is composed of two buildings; a two storey block and a three storey block, comprising 19 flats and located on Arlington Way, to the rear of Sadlers Wells Theatre. The immediate environment is one of three storey early 19thC terraces, part of which form the south east corner of Myddelton Square, together with the rear buildings of Sadlers Wells Theatre.
- 5.2 The residential blocks are not listed but are located in the New River Conservation Area.

6. PROPOSAL (IN DETAIL)

- 6.1 The cladding of the blocks with an initial layer of insulation applied to the external walls, and finished with a reinforced render system. It is also proposed to replace the front porches with lighter glazed canopies.
- 6.2 **Revisions.** Following the original submission of the application in November 2013, there has been a series of discussions and meeting between the architects and planning and design officers with recommendations made to improve the appearance of the proposal.

- 6.3 The render material and colour choice (for the main elevations and the surrounds) have developed to produce a coherent and integrated approach to the design. This has ensured that the recommended scheme remains sympathetic to the original building design intent.

7. RELEVANT HISTORY:

- 7.1 The residential blocks were constructed in 1958 using the Unity prefabricated panel construction system.

PLANNING APPLICATIONS:

- 7.2 No relevant planning applications received.

ENFORCEMENT:

- 7.3 There has been no relevant enforcement action relating to the property.

8. CONSULTATION

Public Consultation

- 8.1 Letters were sent to occupants of 108 adjoining and nearby properties at Arlington Way, Chadwell Street and Myddelton Square on 1st August 2014. A site notice was displayed on 1st August. The public consultation of the application therefore expired on 28th August 2014; however it is the Council's practice to continue to consider representations made up until the date of a decision.
- 8.2 At the time of the writing of this report no responses had been received from the public with regard to the application.

Internal Consultees

- 8.3 Design and Conservation Officer: The Design and Conservation Officer who has been involved in discussions from first submission and following a series of meetings, exploring design composition, material and colour choice, is now satisfied with the submitted proposals.
- 8.4 Energy Conservation Officer: The proposals have been reviewed and all align with the aims laid out in Islington's Core Strategy and Environmental Design SPD (see p2-3 for example), to address fuel poverty, carbon emissions and the associated health impacts that these and buildings with poor thermal performance can have. The proposals also align with Islington's policies around sustainable construction. Specific comments are made about particular aspects of the programme and these are discussed in the evaluation.

9. RELEVANT POLICIES

Details of all relevant policies and guidance notes are attached in Appendix 2. This report considers the proposal against the following development plan documents.

National Guidance

- 9.1 The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

Development Plan

- 9.2 The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The policies of the Development Plan are considered relevant to this application and are listed at Appendix 2 to this report.

Designations

- 9.3 The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

New River Conservation Area	none
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Supplementary Planning Guidance (SPG) / Document (SPD)

- 9.4 The following SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

10. ASSESSMENT

- 10.1 The main issues arising from this proposal relate to:

- The design and the impact of the proposed insulation and render system on the appearance of the building and the wider neighbourhood.
- Energy efficiency and benefits of the proposed cladding for residents.

Design and the proposed appearance of the building

- 10.2 Arlington House is constructed using the Unity prefabricated panel construction system.
- 10.3 Arlington House is a modest structure within the townscape of Arlington Way but lies between the rear of Sadlers Wells Theatre and the rear of Myddelton Square and therefore occupies an important component within the conservation area. To reflect this there has been an extensive consultation

period between the Councils planning and design officers, and the architects. The scheme as now presented represents the results of these discussions and recommendations. It is proposed to wrap the external walls with 100mm EPS insulation, then a polymer-modified render basecoat and supporting mesh, and finally a polymer-modified self colouring render finish.

- 10.4 The present window reveals are shallow, only about 10-20mm deep. The additional depth, of approximately 110mm, will provide deeper reveals, giving greater modelling and visual interest.
- 10.5 Elevation studies have been produced during the design process to ensure that the remodelled elevations are not too horizontal in emphasis, whilst the render colour is appropriate to its context. This has now been achieved. The surrounds to the deeper window reveals will be in a different colour to the main elevation, to highlight and define the bolder openings.
- 10.6 It is also proposed to replace the existing somewhat elaborate open porches with simpler and more appropriate lightweight canopy structures.
- 10.7 The present elevations have become cluttered over time with cable and pipes and the opportunity to remove and rationalise these will further improve the appearance of the blocks.
- 10.8 The proposed design is considered to comply with policy CS9 which seeks high quality architecture that enhances Islington's built environment and policies DM2.1 and DM2.3 in demonstrating architectural design quality and detailing within the context of the conservation area.

Energy Efficiency and the benefits of the new cladding system to the environment and to the residents

- 10.9 The proposed external insulation works to Arlington House are part of an initiative by Islington Council aimed at reducing fuel poverty, providing insulation and reducing CO2 emissions. The project will improve the affordability of housing by reducing heating bills, and the quality of housing by reducing damp, mould and condensation. The works will also reduce health inequality and health outcomes for residents as a result of the improved internal environment and resultant reductions in fuel consumption and fuel bills.
- 10.10 The original method of construction has meant that the external walls have poor thermal insulation properties and many cold bridges in the cavities. The result is high U values and very poor thermal insulation.
- 10.11 To overcome this it is proposed to wrap the blocks in a 100mm thick layer of insulation, applied to the face of the external walls. The insulation is then finished with a reinforced render system, which acts as the waterproofing layer, and providing a durable finish. In winter this will mean that heat within the dwelling will not disperse through the wall to the (colder) outside air. In summer the opposite effect will prevail: heat from the sun will less easily pass through the insulation and external wall into the dwelling. An estimated 5282

kWh annual energy saving per property would be made using the national Carbon Emissions Reduction Target figures published by OFGEM and applied to the specific Islington Council owned stock type.

- 10.12 It is estimated that the project will save £245 per year from each households heating bills and the system will be low maintenance.
- 10.13 Potential summertime overheating happens as the flats also currently gain heat through solar gains via the concrete walls. This effect is greatest for the taller blocks (less so for Arlington House) which experience more exposure to sunlight and whose walls are highly absorbent of solar radiation. This heat collected is then transferred to the properties inside. The presence of external insulation should reduce summer heat gains through two means. Firstly, the new surfaces will absorb much less solar heat than the current walls do. Secondly, the insulating layer will reduce the passage of heat from the outside rendered layer through the walls to the interior of the flats. The properties themselves have significant thermal mass (from the concrete structure) and ventilation available (through background ventilation and openable windows). Therefore, the external insulation systems can make a significant contribution to reducing summer overheating within the blocks. The increase in depth of the window reveals would also make a small contribution to reducing solar gain through the buildings window openings.
- 10.14 The application does not propose measures that will create emissions through direct energy use, so no assessment of emissions or offset is required in this case.
- 10.15 For an application of this type, assessment of the properties using either the BREEAM or Code for Sustainable Homes methodologies is not required.
- 10.16 The proposed work is considered to comply with policy CS10 which seeks to minimise Islington's contribution to climate change, and policies DM7.1, DM7.2 and DM7.5 which seek to integrate best practice sustainable design standards, best practice energy efficiency standards and maximise passive design measures to control heat gain and deliver passive cooling.

11 SUMMARY AND CONCLUSION

Summary

- 11.1 The proposal is welcome as part of the Council's programme to reduce fuel poverty across the Borough.
- 11.2 The proposed external insulation works will improve the affordability of housing by reducing heating bills, and the quality of housing by reducing damp, mould and condensation, but also will help reduce summer overheating. The works will also reduce health inequality and health outcomes

for residents as a result of the improved internal environment and resultant reductions in fuel consumption and fuel bills, and reduced CO2 emissions will serve a wider environmental benefit.

- 11.3 The design and material of the proposed render system will ensure that the integrity and character of the original façade is retained whilst providing a modern, dignified and attractive appearance that will enhance the building.

Conclusion

- 11.4 It is recommended that planning permission be granted subject to conditions for the reasons and details as set out in Appendix 1 - RECOMMENDATIONS.

APPENDIX 1 – RECOMMENDATIONS

RECOMMENDATION A

That the grant of planning permission be subject to **conditions** to secure the following:

List of Conditions:

1	3 Year Consent Period
	<p>CONDITION: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.</p> <p>REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).</p>
2	Approved plans list
	<p>CONDITION: The development hereby approved shall be carried out in accordance with the following approved plans:</p> <p>AH-00, AH-01, AH-02 rev a, AH-03 rev a, AH-04, AH-05, AH-06, Design and Access Statement rev A (July 2014).</p> <p>REASON: To comply with Section 70(1)(a) of the Town and Country Act 1990 as amended and also for the avoidance of doubt and in the interest of proper planning.</p>
3	Materials
	<p>CONDITION: Details and samples of all facing materials shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure work commencing on site. The details and samples shall include:</p> <p>a) Render and render surrounds (including colour, texture and method of application)</p> <p>The development shall be carried out strictly in accordance with the details so</p>

	<p>approved and shall be maintained as such thereafter.</p> <p>REASON: In the interest of securing sustainable development and to ensure that the resulting appearance and construction of the development is of a high standard</p>
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List of Informatives:

1	Positive Statement
	<p>To assist applicants in a positive manner, the Local Planning Authority has produced policies and written guidance, all of which is available on the Council's website.</p> <p>A pre-application advice service is also offered and encouraged. Whilst no substantive pre-application discussions were entered into, the applicant worked in a proactive manner with the Local Planning Authority, taking into consideration the policies and guidance available to them, and therefore the LPA delivered a positive decision in accordance with the requirements of the NPPF.</p>

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

1 National Guidance

The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

2. Development Plan

The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2011 - Spatial Development Strategy for Greater London

1 Context and strategy

Policy 1.1 Delivering the strategic vision and objectives for London

3 London's people

Policy 3.1 Ensuring equal life chances for all

Policy 3.2 Improving health and addressing health inequalities

Policy 3.5 Quality and design of housing developments

5 London's response to climate change

Policy 5.1 Climate change mitigation

Policy 5.2 Minimising carbon dioxide emissions

Policy 5.3 Sustainable design and construction

Policy 5.9 Overheating and cooling

7 London's living places and spaces

Policy 7.1 Building London's neighbourhoods and communities

Policy 7.4 Local character

Policy 7.6 Architecture

B) Islington Core Strategy 2011

Spatial Strategy

Policy CS8 (Enhancing Islington's Character)

Policy CS10 (Sustainable Design)

Strategic Policies

Policy CS9 (Protecting and Enhancing Islington's Built and Historic Environment)

C) Development Management Policies June 2013

Design and Heritage

DM2.1 Design

DM2.3 Heritage

Housing

DM3.2 Existing housing

DM3.4 Housing standards

Health and open space

DM6.1 Healthy development

Energy and Environmental Standards

DM7.2 Energy efficiency and carbon reduction in minor schemes

DM7.4 Sustainable design standards

DM7.5 Heating and cooling

3. Designations

The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

- New River Conservation Area
- none

4. Supplementary Planning Guidance (SPG) / Document (SPD)

The following SPGs and/or SPDs are relevant:

Islington UDP

Environmental Design

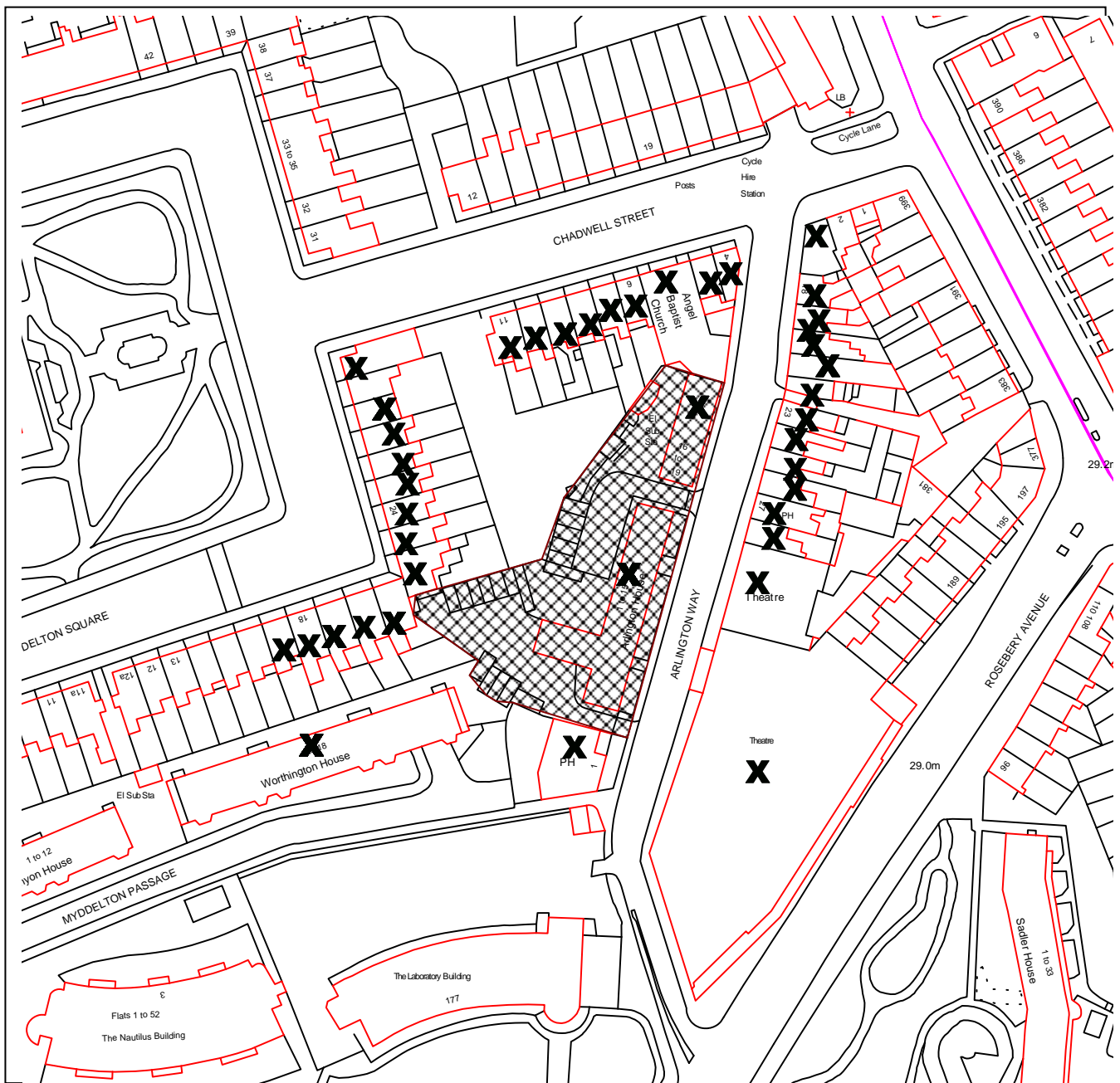
- Urban Design Guide
- Conservation Area Design Guidelines

London Plan

- Housing
- Sustainable Design & Construction



ISLINGTON



DEVELOPMENT MANAGEMENT

PLANNING APPLICATION REF NO: P2013/4627/FUL

LOCATION: 1-19 ARLINGTON HOUSE 2 ARLINGTON WAY
LONDON EC1 1XB

SCALE: 1:1250

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Islington Council, LA086452

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PLANNING COMMITTEE REPORT

PLANNING SUB-COMMITTEE B		AGENDA ITEM NO:	
Date:	18 th September 2014		

Application number	P2013/4635/FUL
Application type	Full
Ward	Mildmay
Listed building	Not listed
Conservation area	Not in a conservation area
Development Plan Context	
Licensing Implications	N/A
Site Address	1-73 Haliday House, 2 Mildmay Street, London N1 4NF
Proposal	The overcladding of the external walls with a rainscreen cladding system.

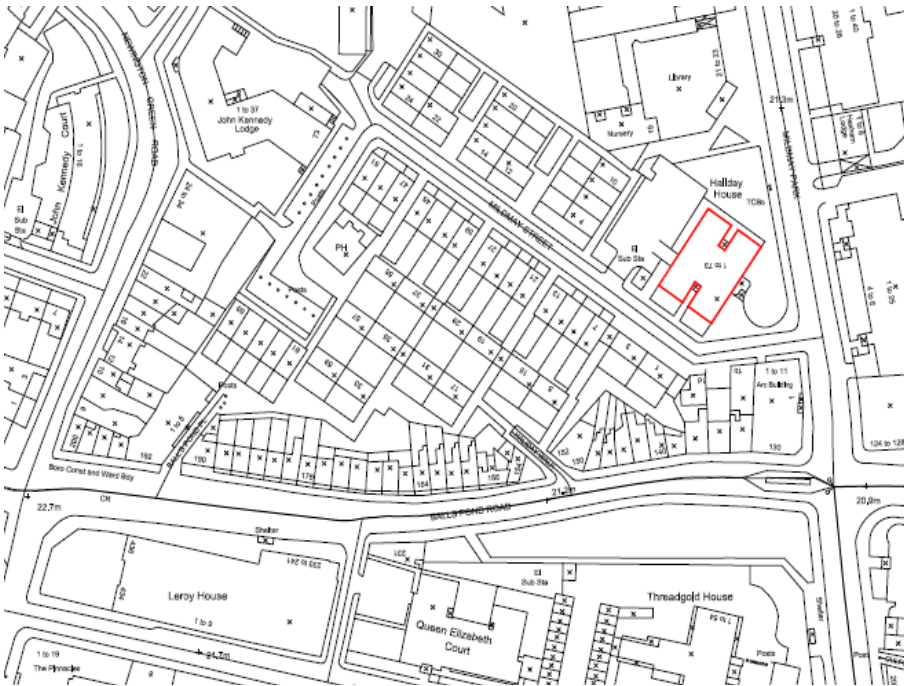
Case Officer	Ashley Niman
Applicant	London Borough of Islington
Agent	Islington Council Architects

1. RECOMMENDATION

The Committee is asked to resolve to **GRANT** planning permission:

1. for the reasons for approval;
2. subject to the conditions set out in Appendix 1;

2. SITE PLAN (site outlined in bold)



3. AERIAL SHOT AND PHOTOS OF SITE/STREET AT MILDMAY STREET





4. SUMMARY

- 4.1 The proposal forms part of a borough-wide programme to install various energy saving measures across all housing tenure in order to help overcome fuel poverty.
- 4.2 The principal issues arising from the programmed relate to, firstly, the appearance of the building following the insulation measures, and secondly, the effectiveness of the measures to overcome a number of problems residents currently face, in particular, damp, condensation and lack of insulation in winter, and summertime overheating.
- 4.3 The new cladding system has been developed to ensure that its appearance enhances the building, provides visual interest, integrity and quality, and covers up numerous previous unsightly repairs and cables. The system is designed to ensure that services remain accessible behind the panels.
- 4.4 The introduction of a new cladding system will bring a range of benefits to residents including a reduction in fuel bills, a healthier internal residential environment with a reduction in damp and mould, and a warmer room environment in winter and a cooler room environment in summer.
- 4.5 It is recommended that the application is approved subject to conditions.

5. SITE AND SURROUNDING

- 5.1 Haliday House was constructed in 1972 and is a 13 storey tower block, comprising 73 flats and located at the junction of Mildmay Street and Mildmay Park close to Balls Pond Road. The immediate environment is one of low rise (two to four storeys) post war residential blocks, interspersed with remaining Victorian villas. There are several taller blocks on the nearby Dovercourt Estate, commensurate in height with Haliday House.
- 5.2 Haliday House is constructed using the Bison panel wall frame system developed in the early 1960s for blocks of up to 24 storeys. The system comprises load bearing storey-height precast reinforced concrete flank wall and cross wall panels.

- 5.3 The block itself is currently clad in structural concrete sandwich panels, which are faced with exposed aggregate concrete.
- 5.4 The residential block is not listed nor is it in a conservation area.

6. PROPOSAL (IN DETAIL)

- 6.1 The overcladding of the external walls from first floor upwards with a rainscreen cladding system to improve the thermal performance of the existing building. The proposal would use an Eternit Equitone cladding panel system, from the Tectiva range. The ground floor elevations will remain as is with brick panels retained.
- 6.2 **Revisions.** Following the original submission of the application in November 2013, there has been a series of discussions and meeting between the architects and planning and design officers with recommendations made to improve the appearance of the proposal.
- 6.3 The particular kind of material, the cladding arrangement, colour, texture and fixings have all been examined and developed to produce a more coherent, calmer and integrated approach and design, than originally proposed. This has ensured that the recommended scheme is more sympathetic to the original building design intent.

7. RELEVANT HISTORY:

- 7.1 The 17 storey residential block was constructed in the early 1960s using the Bison wall system which was commonly used for this form of development across the UK.

PLANNING APPLICATIONS:

- 7.2 992229 Renewal of common landing windows and entrance canopy and erection of railings. Approved 23/02/2000.
- 7.3 P072572 Replacement of single glazed windows with double glazed UPVC windows. Approved 31/01/2008.
- 7.4 P111611 Landscape improvements to the open spaces that form part of John Kennedy Court, Mildmay Street and Haliday House housing estates. These include the realignment of some pedestrian pathways, green spaces and car parking areas, new hard surfacing, repair and repainting of railings and gates, new gates and tree and shrub planting. Approved 03/01/2013.

ENFORCEMENT:

- 7.5 There has been no relevant enforcement action relating to the property.

8. CONSULTATION

Public Consultation

- 8.1 Letters were sent to occupants of 190 adjoining and nearby properties at Mildmay Street, Mildmay Park and Balls Pond Road on 1st August 2014. A site notice was displayed on 1st August. The public consultation of the application therefore expired on 28th August 2014; however it is the Council's practice to continue to consider representations made up until the date of a decision.
- 8.2 At the time of the writing of this report one response had been received from the public with regard to the application.
- 8.3 The resident has questioned the effect of the proposed cladding on the internal temperature of the flat in summer, and whether the new cladding system will alter this. This is discussed under para 10.16.

Internal Consultees

- 8.4 Design and Conservation Officer: The Design and Conservation Officer who has been involved in discussions from first submission and following a series of meetings exploring design composition, samples and examples of their application, is now satisfied with the submitted proposals.
- 8.5 Energy Conservation Officer: The proposals have been reviewed and all align with the aims laid out in Islington's Core Strategy and Environmental Design SPD (see p2-3 for example), to address fuel poverty, carbon emissions and the associated health impacts that these and buildings with poor thermal performance can have. The proposals also align with Islington's policies around sustainable construction. Specific comments are made about particular aspects of the programme and these are discussed in the assessment section.

9. RELEVANT POLICIES

Details of all relevant policies and guidance notes are attached in Appendix 2. This report considers the proposal against the following development plan documents.

National Guidance

- 9.1 The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

Development Plan

- 9.2 The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The policies of the Development Plan are considered relevant to this application and are listed at Appendix 2 to this report.

Designations

- 9.3 The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

none

none

Supplementary Planning Guidance (SPG) / Document (SPD)

- 9.4 The following SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

10. ASSESSMENT

- 10.1 The main issues arising from this proposal relate to:

- The design and the impact of the proposed cladding system on the appearance of the building and the wider neighbourhood.
- Energy efficiency and benefits of proposed cladding for residents

Design and the proposed appearance of the building

- 10.2 Haliday House is constructed using the Bison panel wall frame system. The block itself is currently clad in structural concrete sandwich panels, which are faced with exposed aggregate concrete.
- 10.3 Haliday House is a prominent structure within the townscape of Mildmay Street and the lower part of Mildmay Park and the changes to the external cladding system will be very visible over a wide area. As a result there has been an extensive consultation period between the Council's planning and design officers, and the architects. The scheme as now presented represents the results of these discussions and recommendations.
- 10.4 From the outset it has been important that the ordered and rational 1960s façade should be reflected in the proposed cladding system. An ordered design rather than a random one was therefore required. The proposal now reflects this without copying the original design.
- 10.5 In terms of the material itself, the Eternit Equitone cladding panel has been selected for its modelled surface, matt colours and variation in texture. The two specific materials used are Tectiva Pebble and Tectiva Calico. The

Tectiva Pebble panels will be used as the principal material for the front and rear elevations, running horizontally between the fenestration bands, and the combination of the subtle linear striations built into the surface texture, together with the intention to turn alternate boards through 90 degrees, will provide modelled variation.

- 10.6 The flank elevations will be clad principally in Tectiva Calico panels, with the central recessed lightwell clad in the Tectiva Pebble, to emphasise the vertical.
- 10.7 The Tectiva Calico panels will also be used as a framing device for the main elevations when set against the darker Pebble panels.
- 10.8 The overcladding will give depth to the façades. The proposed design creates depth by framing the main elevations and forming deep window reveals, and producing shadow lines.
- 10.9 The careful detailing of rainscreen cladding is important in achieving a satisfactory appearance. Wherever possible, cladding panels will be fixed by a concealed fixing structural bonding system. The only exception will be where existing gas services are fixed to the façade. The gas risers can be enclosed with perforated cladding panels but these must be easily removable. Therefore panels covering gas risers will be surface fixed with small screw fixings, powder coated to match the colour of the cladding. They will be almost invisible to the naked eye from viewed from ground level. Surface fixed panels represent a very small part of the surface area of the entire block.
- 10.10 The proposal for the new cladding system does not affect other parts of the building and there is no proposal at present to change either the entrance doors or the fenestration systems, although window cills will be renewed. The retention of the existing brick work at ground floor level does not detract from the overall design composition.
- 10.11 The combination of the carefully selected materials, their colours, and their application to the building in terms of the arrangement of the different colours and positions, to ensure verticality, order and depth to the façade and an attention to the detailing of fixings, will result in a well designed set of elevations respectful to the integrity of the original building.
- 10.12 The proposed design is considered to comply with policy CS9 which seeks high quality architecture that enhances Islington's built environment and policy DM2.1 in demonstrating architectural design quality and detailing.

Energy Efficiency and the benefits of the new cladding system to the environment and to the residents

- 10.13 The proposed external insulation works to Haliday House are part of an initiative by Islington Council aimed at reducing fuel poverty, providing insulation and reducing CO2 emissions. The project will improve the affordability of housing by reducing heating bills, and the quality of housing by reducing damp, mould and condensation. The works will also reduce health

inequality and health outcomes for residents as a result of the improved internal environment and resultant reductions in fuel consumption and fuel bills.

- 10.14 The original method of construction using large concrete panels has meant that the external sandwich panels that make up the external walls have poor thermal insulation properties, and the thin sheets of insulation that were cast into the solid concrete external walls are inadequate by modern standards. In addition the Bison system has several uninsulated junctions, which form cold bridges through the external envelope. The result is high U values and very poor thermal insulation.

The proposed rainscreen cladding is a form of double wall construction that uses an outer layer to keep the rain out and an inner layer to provide thermal insulation, prevent excessive air leakage and carry wind loading. The structural frame of the building is kept absolutely dry as water never reaches it or the thermal insulation. The insulation will reduce the capacity of heat to pass through the external wall. In winter this will mean that heat within the dwelling will not disperse through the wall to the (colder) outside air. In summer the opposite effect will prevail: heat from the sun will less easily pass through the insulation and external wall into the dwelling and therefore reducing instances of overheating. An estimated 5282 kWh annual energy saving per property would be made using the national Carbon Emissions Reduction Target figures published by OFGEM and applied to this specific Islington Council owned stock type.

- 10.15 It is estimated that the project will save approximately £245 per year from each households heating bills. The system is low maintenance and has an expected life span of at least 50 years.
- 10.16 Potential summertime overheating happens as the flats currently gain heat through solar gains via the concrete walls. This effect is greatest for the taller blocks, which experience more exposure to sunlight and whose walls are highly absorbent of solar radiation. This heat collected is then transferred to the properties inside. The presence of external insulation should reduce summer heat gains through two means. Firstly, the new surfaces of the weatherproof rainscreen will absorb much less solar heat than the current walls do. Secondly, the insulating layer will reduce the passage of heat from the weatherproof rainscreen through the walls to the interior of the flats. The properties themselves have significant thermal mass (from the concrete structure) and ventilation available (through background ventilation and openable windows). Therefore, the external insulation systems can make a significant contribution to reducing summer overheating within the blocks. The increase in depth of windows reveals would also make a small contribution to reducing solar gain through the building's windows.
- 10.17 The particular system proposed, the Equitone system, is robust, non-reactive and self cleaning. This low maintenance system is well suited to tall building overcladding design.

- 10.18 The application does not propose measures that will create emissions through direct energy use, so no assessment of emissions or offset is required in this case.
- 10.19 For an application of this type, assessment of the properties using either the BREEAM or Code for Sustainable Homes methodologies is not required.
- 10.20 The proposed work is considered to comply with policy CS10 which seeks to minimise Islington's contribution to climate change, and policies DM7.1, DM7.2 and DM7.5 which seek to integrate best practice sustainable design standards, best practice energy efficiency standards and maximise passive design measures to control heat gain and deliver passive cooling.

11. SUMMARY AND CONCLUSION

Summary

- 11.1 The proposal is welcome as part of the Council's programme to reduce fuel poverty across the Borough.
- 11.2 The proposed external insulation works will improve the affordability of housing by reducing heating bills, and the quality of housing by reducing damp, mould and condensation, but also will help reduce summer overheating. The works will also reduce health inequality and health outcomes for residents as a result of the improved internal environment and resultant reductions in fuel consumption and fuel bills, and reduced CO2 emissions will serve a wider environmental benefit.
- 11.3 The design, material and texture of the proposed cladding system will ensure that the integrity and character of the original concrete façade is retained whilst providing a modern, dignified and attractive appearance that will enhance the building.

Conclusion

- 11.4 It is recommended that planning permission be granted subject to conditions for the reasons and details as set out in Appendix 1 - RECOMMENDATIONS.

APPENDIX 1 – RECOMMENDATIONS

RECOMMENDATION A

That the grant of planning permission be subject to **conditions** to secure the following:

List of Conditions:

1	3 Year Consent Period
	<p>CONDITION: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.</p> <p>REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).</p>
2	Approved plans list
	<p>CONDITION: The development hereby approved shall be carried out in accordance with the following approved plans:</p> <p>HH-00, HH-01, HH-02, HH-03, HH-04, HH-05, HH-06 revA, HH-07 revA, HH-08 revA, HH-09 revA, HH-10 revA, HH-11, Design and Access Statement rev A (July 2014).</p> <p>REASON: To comply with Section 70(1)(a) of the Town and Country Act 1990 as amended and also for the avoidance of doubt and in the interest of proper planning.</p>

List of Informatives:

1	Positive Statement
	<p>To assist applicants in a positive manner, the Local Planning Authority has produced policies and written guidance, all of which is available on the Council's website.</p> <p>A pre-application advice service is also offered and encouraged. Whilst no substantive pre-application discussions were entered into, the applicant worked in a proactive manner with the Local Planning Authority, taking into consideration the policies and guidance available to them, and therefore the LPA delivered a positive decision in accordance with the requirements of the NPPF.</p>

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

1 National Guidance

The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

2. Development Plan

The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2011 - Spatial Development Strategy for Greater London

1 Context and strategy

Policy 1.1 Delivering the strategic vision and objectives for London

3 London's people

Policy 3.1 Ensuring equal life chances for all

Policy 3.2 Improving health and addressing health inequalities

Policy 3.5 Quality and design of housing developments

5 London's response to climate change

Policy 5.1 Climate change mitigation

Policy 5.2 Minimising carbon dioxide emissions

Policy 5.3 Sustainable design and construction

Policy 5.9 Overheating and cooling

7 London's living places and spaces

Policy 7.1 Building London's neighbourhoods and communities

Policy 7.4 Local character

Policy 7.6 Architecture

B) Islington Core Strategy 2011

Spatial Strategy

Policy CS8 (Enhancing Islington's Character)

Strategic Policies

Policy CS9 (Protecting and Enhancing Islington's Built and Historic Environment)

Policy CS10 (Sustainable Design)

C) Development Management Policies June 2013

Design and Heritage

Health and open space

DM2.1 Design

DM6.1 Healthy development

Housing

DM3.2 Existing housing

DM3.4 Housing standards

Energy and Environmental Standards

DM7.2 Energy efficiency and carbon reduction in minor schemes

DM7.4 Sustainable design standards

DM7.5 Heating and cooling

3. Designations

The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

- none

- none

4. Supplementary Planning Guidance (SPG) / Document (SPD)

The following SPGs and/or SPDs are relevant:

Islington UDP

Environmental Design

- Urban Design Guide

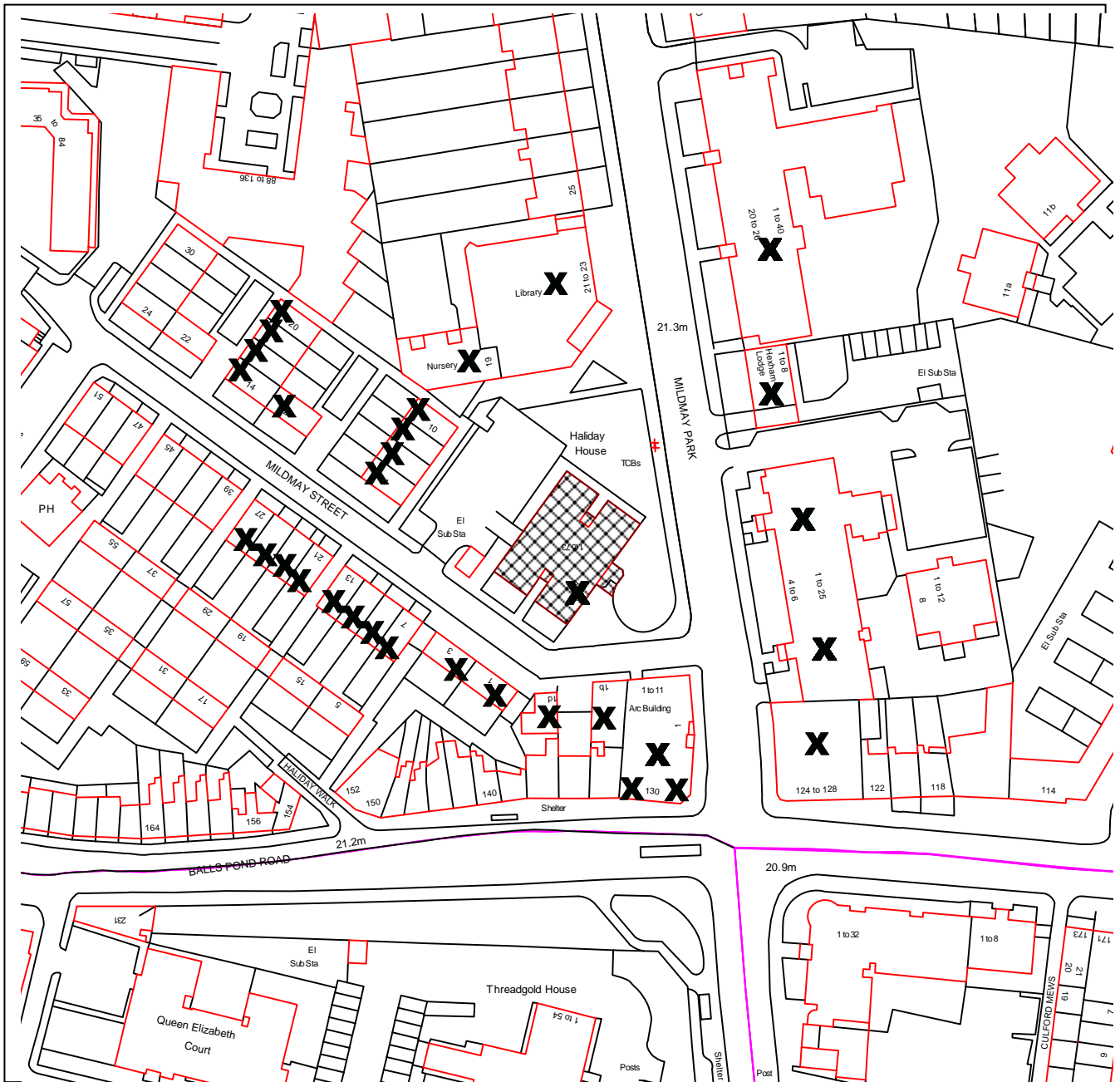
London Plan

- Housing

- Sustainable Design & Construction



ISLINGTON



DEVELOPMENT MANAGEMENT

PLANNING APPLICATION REF NO: P2013/4635/FUL

LOCATION: 1-73 HALIDAY HOUSE 2 MILDMAY STREET LONDON
N1 4NF

SCALE: 1:1250

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Islington Council, LA086452

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PLANNING COMMITTEE REPORT



PLANNING SUB-COMMITTEE B		AGENDA ITEM NO:	
Date:	18 th September 2014		

Application number	P2013/4640/FUL
Application type	Full
Ward	Tollington
Listed building	Not listed
Conservation area	Not in a conservation area
Development Plan Context	
Licensing Implications	N/A
Site Address	1-97 Ilex House, Crouch Hill, London N4 4BY
Proposal	The overcladding of the external walls with a rainscreen cladding system.

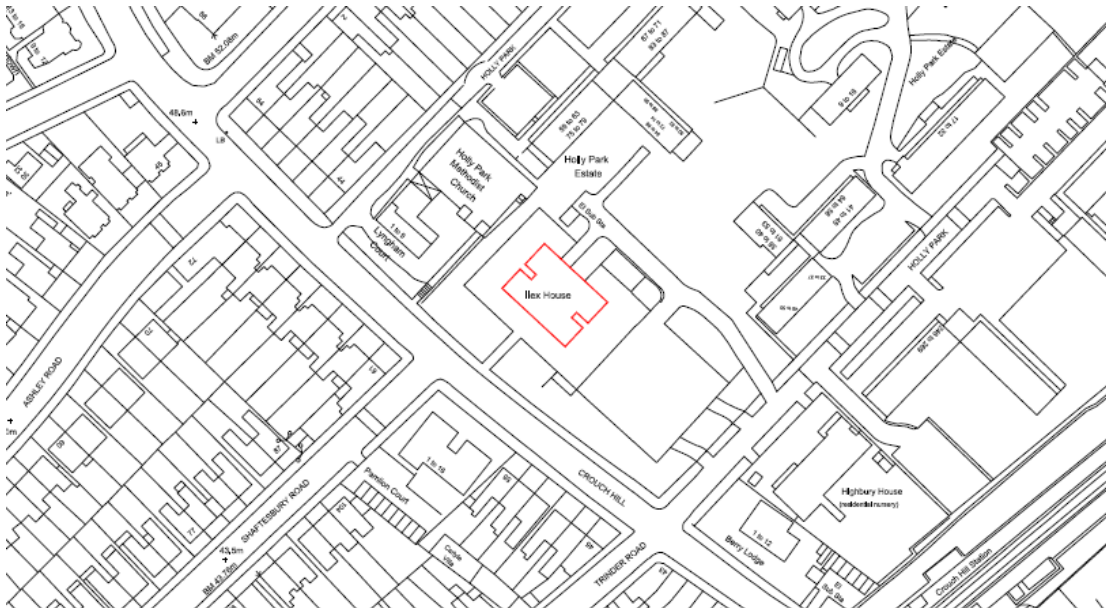
Case Officer	Ashley Niman
Applicant	London Borough of Islington
Agent	Islington Council Architects

1. RECOMMENDATION

The Committee is asked to resolve to **GRANT** planning permission:

1. for the reasons for approval;
2. subject to the conditions set out in Appendix 1;

2. SITE PLAN (site outlined in bold)



3. AERIAL SHOT/PHOTOS OF SITE/STREET AT CROUCH HILL





4. SUMMARY

- 4.1 The proposal forms part of a borough-wide programme to install various energy saving measures across all housing tenure in order to help overcome fuel poverty.
- 4.2 The principal issues arising from the programmed relate to, firstly, the appearance of the building following the insulation measures, and secondly, the effectiveness of the measures to overcome a number of problems residents currently face, in particular, damp, condensation and lack of insulation in winter, and summertime overheating.
- 4.3 The new cladding system has been developed to ensure that its appearance enhances the building, provides visual interest, integrity and quality, and covers up numerous previous unsightly repairs and cables. The system is designed to ensure that services remain accessible behind the panels.
- 4.4 The introduction of a new cladding system will bring a range of benefits to residents including a reduction in fuel bills, a healthier internal residential environment with a reduction in damp and mould, and a warmer room environment in winter and a cooler room environment in summer.
- 4.5 It is recommended that the application is approved subject to conditions.

5. SITE AND SURROUNDING

- 5.1 Ilex House was constructed in 1972 and is a 17 storey tower block, comprising 97 flats within the Holly Park Estate off Crouch Hill. It is separated from Crouch Hill by a narrow strip of landscaped land whilst adjacent to the immediate south of the block is the resident's car park. Lower rise blocks on the estate lie to the east and north. The tower block overlooks Victorian villas and terraces on the west side of Crouch Hill.
- 5.2 Ilex House is constructed using the Bison panel wall frame system developed in the early 1960s for blocks of up to 24 storeys. The system comprises load

bearing storey-height precast reinforced concrete flank wall and cross wall panels.

- 5.3 The block itself is currently clad in structural concrete sandwich panels, which are faced with exposed aggregate concrete.
- 5.4 The residential block is not listed nor is it in a conservation area.

6. PROPOSAL (IN DETAIL)

- 6.1 The overcladding of the external walls from first floor upwards with a rainscreen cladding system to improve the thermal performance of the existing building. The proposal would use an Eternit Equitone cladding panel system, from the Tectiva range. The ground floor elevations will remain as is with brick panels retained.
- 6.2 **Revisions.** Following the submission of the applications in November 2013, there has been a series of discussions and meeting between the architects and planning and design officers with recommendations made to improve the appearance of the proposal.
- 6.3 The particular kind of material, the cladding arrangement, colour, texture and fixings have all been examined and developed to produce a more coherent, calmer and integrated approach and design, than originally proposed. This has ensured that the recommended scheme is more sympathetic to the original building design intent.

7. RELEVANT HISTORY:

- 7.1 The 17 storey residential block was constructed in the early 1960s using the Bison wall system which was commonly used for this form of development across the UK.

PLANNING APPLICATIONS:

- 7.2 P001971 Refurbishment of ground floor of tower block to provide concierge, door entry and renewal of main entrance doors. Approved, 21/02/2001.
- 7.3 840892 Change of use of covered car park to community centre. Approved, 09/10/1984.

ENFORCEMENT:

- 7.4 There has been no relevant enforcement action relating to the property.

8. CONSULTATION

Public Consultation

- 8.1 Letters were sent to occupants of 290 adjoining and nearby properties at Crouch Hill, Holly Park and Ashley Road on 1st August 2014. A site notice was displayed on 1st August and a press notice posted. The public consultation of the application therefore expired on 28th August 2014; however it is the Council's practice to continue to consider representations made up until the date of a decision.
- 8.2 At the time of the writing of this report no responses had been received from the public with regard to the application.

Internal Consultees

- 8.3 Design and Conservation Officer: The Design and Conservation Officer who has been involved in discussions from first submission and following a series of meetings exploring design composition, material and examples of their application, is now satisfied with the submitted proposals.

Energy Conservation Officer: The proposals have been reviewed and all align with the aims laid out in Islington's Core Strategy and Environmental Design SPD (see p2-3 for example), to address fuel poverty, carbon emissions and the associated health impacts that these and buildings with poor thermal performance can have. The proposals also align with Islington's policies around sustainable construction. Specific comments are made about particular aspects of the programme and these are discussed in the assessment section.

9. RELEVANT POLICIES

Details of all relevant policies and guidance notes are attached in Appendix 2. This report considers the proposal against the following development plan documents.

National Guidance

- 9.1 The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

Development Plan

- 9.2 The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The policies of the Development Plan are

considered relevant to this application and are listed at Appendix 2 to this report.

Designations

9.3 The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

none

none

Supplementary Planning Guidance (SPG) / Document (SPD)

9.4 The following SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

10. ASSESSMENT

10.1 The main issues arising from this proposal relate to:

- The design and the impact of the proposed cladding system on the appearance of the building and the wider neighbourhood.
- Energy efficiency and benefits of proposed cladding for residents.

Design and the proposed appearance of the building

10.2 Ilex House is constructed using the Bison panel wall frame system. The block itself is currently clad in structural concrete sandwich panels, which are faced with exposed aggregate concrete.

10.3 Ilex House is a prominent structure within the townscape of Crouch Hill and the changes to the external cladding system will be very visible over a wide area. Reflective of this there has been an extensive consultation period between the Council's planning and design officers, and the architects. The scheme as now presented represents the results of these discussions and recommendations.

10.4 From the outset it has been important that the ordered and rational 1960's façade should be reflected in the proposed cladding system. An ordered design rather than a random pattern was therefore required. The proposal now reflects this without copying the original design.

10.5 In terms of the material itself, four simple panel types are proposed from the Eternit Equitone cladding panel system. The Tectiva range has been selected for its modelled surface, matt colours and variation in texture.

10.6 The principal material for the cladding to the main elevations to the front and rear will be the Linear Tectiva panels, which offer a grooved texture that

strongly suggests the ribbed effect of concrete as well as an emphasis on the vertical.

- 10.7 Verticality has always been an important part of the requirements of the new design. The introduction of thin, dark coloured Tectiva Mineral Black vertical panels between the main Linear Tectiva panels to the front and rear elevations, and the use of Tectiva Pebble to the recessed central sections of the flank elevations between the Tectiva Calico cream panels will help achieve this vertical emphasis, as will the framing of the main elevations with additional slim panels from the Calico cream range.
- 10.8 The overcladding will give depth to the façades. The proposed design creates depth by framing the main elevations and forming deep window reveals, and producing shadow lines.
- 10.9 The careful detailing of rainscreen cladding is important in achieving a satisfactory appearance. Wherever possible, cladding panels will be fixed by a concealed fixing structural bonding system. The only exception will be where existing gas services are fixed to the façade. The gas risers can be enclosed with perforated cladding panels but these must be easily removable and will therefore be surface fixed with small screw fixings, powder coated to match the colour of the cladding. They will be almost invisible to the naked eye when viewed from ground level. Surface fixed panels represent a very small part of the surface area of the entire block.
- 10.10 The proposal for the new cladding system does not affect other parts of the building and there is no proposal at present to change either the entrance doors or the fenestration systems, although window cills will be renewed. The retention of the existing brick work at ground floor level does not detract from the overall design composition.
- 10.11 The combination of the carefully selected materials, their colours, and their application to the building in terms of the arrangement of the different colours and positions, to ensure verticality, order and depth to the façade and an attention to the detailing of fixings, will result in a well designed set of elevations respectful to the integrity of the original building.
- 10.12 The proposed design is considered to comply with policy CS9 which seeks high quality architecture that enhances Islington's built environment and policy DM2.1 in demonstrating architectural design quality and detailing.

Energy Efficiency and the benefits of the new cladding system to the environment and to the residents

- 10.13 The proposed external insulation works to Ilex House are part of an initiative by Islington Council aimed at reducing fuel poverty, providing improved insulation and reducing CO2 emissions. The project will improve the affordability of housing by reducing heating bills, and the quality of housing by reducing damp, mould and condensation. The works will also reduce health inequality and health outcomes for residents as a result of the improved

internal environment and resultant reductions in fuel consumption and fuel bills.

- 10.14 The original method of construction using large concrete panels has meant that the external sandwich panels that make up the external walls have poor thermal insulation properties, and the thin sheets of insulation that were cast into the solid concrete external walls are inadequate by modern standards. In addition the Bison system has several uninsulated junctions, which form cold bridges through the external envelope. The result is high U values and very poor thermal insulation.

The proposed rainscreen cladding is a form of double wall construction that uses an outer layer to keep the rain out and an inner layer to provide thermal insulation, prevent excessive air leakage and carry wind loading. The structural frame of the building is kept absolutely dry as water never reaches it or the thermal insulation. The insulation will reduce the capacity of heat to pass through the external wall. In winter this will mean that heat within the dwelling will not disperse through the wall to the (colder) outside air. In summer the opposite effect will prevail: heat from the sun will less easily pass through the insulation and external wall into the dwelling and therefore reducing instances of overheating. An estimated 5282 kWh annual energy saving per property would be made using the national Carbon Emissions Reduction Target figures published by Ofgem and applied to this specific Islington Council owned stock type.

- 10.15 It is estimated that the project will save approximately £245 per year from each households heating bills. The system is low maintenance and has an expected life span of at least 50 years.
- 10.16 Potential summertime overheating happens as the flats currently gain heat through solar gains via the concrete walls. This effect is greatest for the taller blocks, which experience more exposure to sunlight and whose walls are highly absorbent of solar radiation. This heat collected is then transferred to the properties inside. The presence of external insulation should reduce summer heat gains through two means. Firstly, the new surfaces of the weatherproof rainscreen will absorb much less solar heat than the current walls do. Secondly, the insulating layer will reduce the passage of heat from the weatherproof rainscreen through the walls to the interior of the flats. The properties themselves have significant thermal mass (from the concrete structure) and ventilation available (through background ventilation and openable windows). Therefore, the external insulation systems can make a significant contribution to reducing summer overheating within the blocks. The increase in depth of windows reveals would also make a small contribution to reducing solar gain through the building's windows.
- 10.17 The particular system proposed, the Equitone system, is robust, non-reactive and self cleaning. This low maintenance system is well suited to tall building overcladding design.

- 10.18 The application does not propose measures that will create emissions through direct energy use, so no assessment of emissions or offset is required in this case
- 10.19 For an application of this type, assessment of the properties using either the BREEAM or Code for Sustainable Homes methodologies is not required.
- 10.20 The proposed work is considered to comply with policy CS10 which seeks to minimise Islington's contribution to climate change, and policies DM7.1, DM7.2 and DM7.5 which seek to integrate best practice sustainable design standards, best practice energy efficiency standards and maximise passive design measures to control heat gain and deliver passive cooling.

11. SUMMARY AND CONCLUSION

Summary

- 11.1 The proposal is welcome as part of the Council's programme to reduce fuel poverty across the Borough.
- 11.2 The proposed external insulation works will improve the affordability of housing by reducing heating bills, and the quality of housing by reducing damp, mould and condensation, but will also help reduce summer overheating. The works will also reduce health inequality and health outcomes for residents as a result of the improved internal environment and resultant reductions in fuel consumption and fuel bills, and reduced CO2 emissions will serve a wider environmental benefit.
- 11.3 The design, material and texture of the proposed cladding system will ensure that the integrity and character of the original concrete façade is retained whilst providing a modern, dignified and attractive appearance that will enhance the building.

Conclusion

- 11.4 It is recommended that planning permission be granted subject to conditions for the reasons and details as set out in Appendix 1 - RECOMMENDATIONS.

APPENDIX 1 – RECOMMENDATIONS

RECOMMENDATION A

That the grant of planning permission be subject to **conditions** to secure the following:

List of Conditions:

1	<p>3 Year Consent Period</p> <p>CONDITION: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.</p> <p>REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).</p>
2	<p>Approved plans list</p> <p>CONDITION: The development hereby approved shall be carried out in accordance with the following approved plans:</p> <p>IH-00, IH-01, IH-02, IH-03, IH-04 revA, IH-05 revA, IH-06 revA, IH-07 revA, IH-08 revA, IH-09 revA, IH-10 revA, IH-11 revA, IH-12, IH-13, IH-14, Design and Access Statement rev A (July 2014).</p> <p>REASON: To comply with Section 70(1)(a) of the Town and Country Act 1990 as amended and also for the avoidance of doubt and in the interest of proper planning.</p>

List of Informatives:

1	<p>Positive Statement</p> <p>To assist applicants in a positive manner, the Local Planning Authority has produced policies and written guidance, all of which is available on the Council's website.</p> <p>A pre-application advice service is also offered and encouraged. Whilst no substantive pre-application discussions were entered into, the applicant worked in a proactive manner with the Local Planning Authority, taking into consideration the policies and guidance available to them, and therefore the LPA delivered a positive decision in accordance with the requirements of the NPPF.</p>
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APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

1 National Guidance

The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

2. Development Plan

The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2011 - Spatial Development Strategy for Greater London

1 Context and strategy

Policy 1.1 Delivering the strategic vision and objectives for London

3 London's people

Policy 3.1 Ensuring equal life chances for all

Policy 3.2 Improving health and addressing health inequalities

Policy 3.5 Quality and design of housing developments

5 London's response to climate change

Policy 5.1 Climate change mitigation

Policy 5.2 Minimising carbon dioxide emissions

Policy 5.3 Sustainable design and construction

Policy 5.9 Overheating and cooling

7 London's living places and spaces

Policy 7.1 Building London's neighbourhoods and communities

Policy 7.4 Local character

Policy 7.6 Architecture

B) Islington Core Strategy 2011

Spatial Strategy

Policy CS8 (Enhancing Islington's Character)

Policy CS10 (Sustainable Design)

Strategic Policies

Policy CS9 (Protecting and Enhancing Islington's Built and Historic Environment)

C) Development Management Policies June 2013

Design and Heritage

DM2.1 Design

Health and open space

DM6.1 Healthy development

Housing

DM3.2 Existing housing

DM3.4 Housing standards

Energy and Environmental Standards

DM7.2 Energy efficiency and carbon reduction in minor schemes

DM7.4 Sustainable design standards

DM7.5 Heating and cooling

3. Designations

The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

- none

- none

4. Supplementary Planning Guidance (SPG) / Document (SPD)

The following SPGs and/or SPDs are relevant:

Islington UDP

Environmental Design

- Urban Design Guide

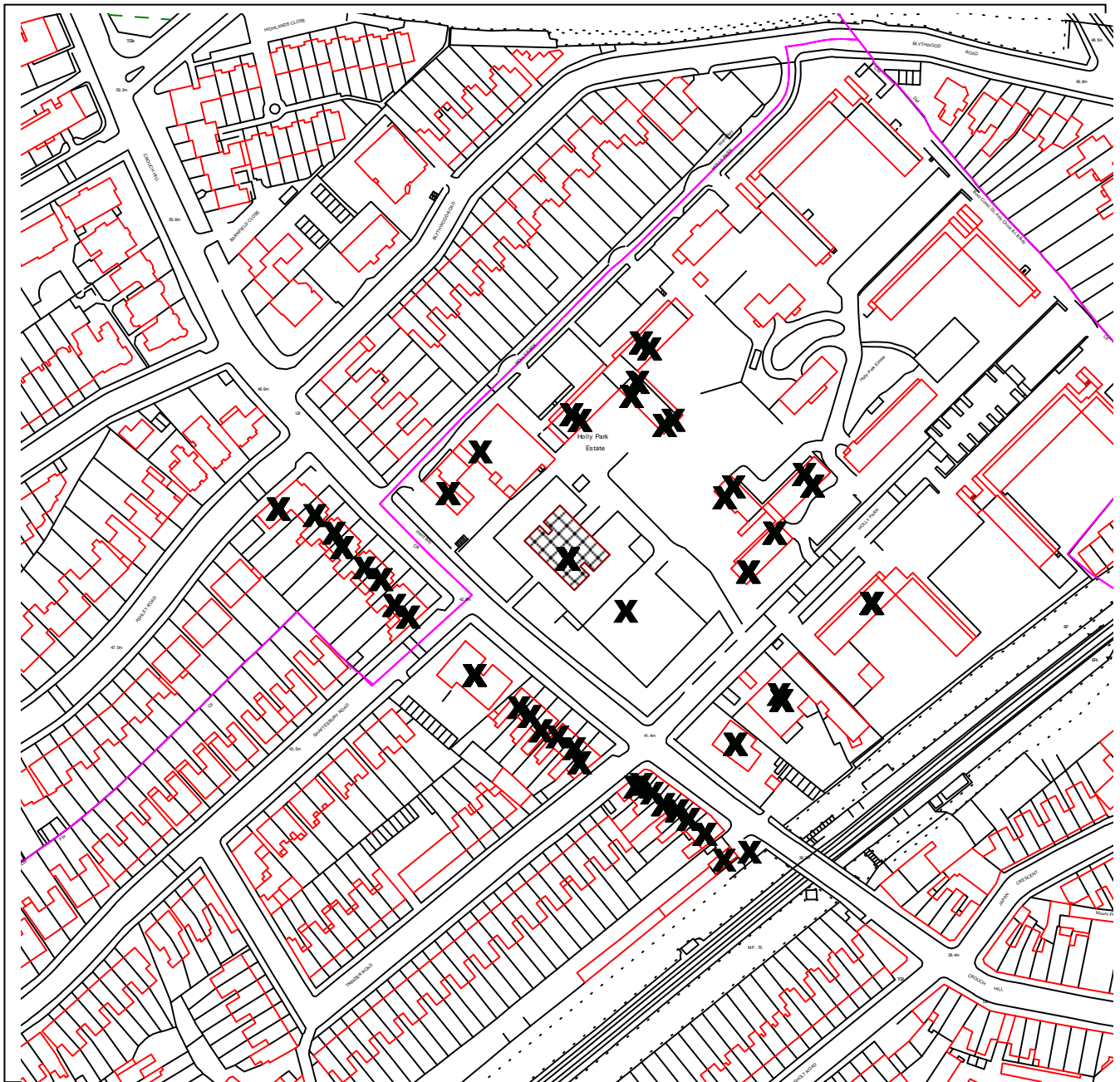
London Plan

- Housing

- Sustainable Design & Construction



ISLINGTON



DEVELOPMENT MANAGEMENT

PLANNING APPLICATION REF NO: P2013/4640/FUL

LOCATION: 1-97 ILEX HOUSE CROUCH HILL LONDON N4 4BY

SCALE: 1:2200

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PLANNING COMMITTEE REPORT

Development Management Service
 Planning and Development Division
 Environment and Regeneration Department
 PO Box 333
 222 Upper Street
 LONDON N1 1YA

PLANNING SUB-COMMITTEE B		NON-EXEMPT
Date:	18 th September 2014	

Application number	P2013/2885/FUL
Application type	Full Planning (Council's Own)
Ward	Mildmay
Listed building	No
Conservation area	Highbury New Park Conservation Area
Development Plan Context	Conservation Area
Licensing Implications	None
Site Address	114 Grosvenor Avenue, London, N5 2NY
Proposal	Change of use from residential children's home (Use Class C2) to 4 no. residential flats (Use Class C3) comprising 1 x 1 bedroom flat, 2 x 2 bedroom flats and 1 x 3 bedroom flat; new windows and staircase to rear elevation; provision of 12 no. cycle spaces and bin storage area to eastern elevation.

Case Officer	Krystyna Williams
Applicant	Mr Peter Holmes (Property Services) LB Islington
Agent	Simon Owen (HTA)

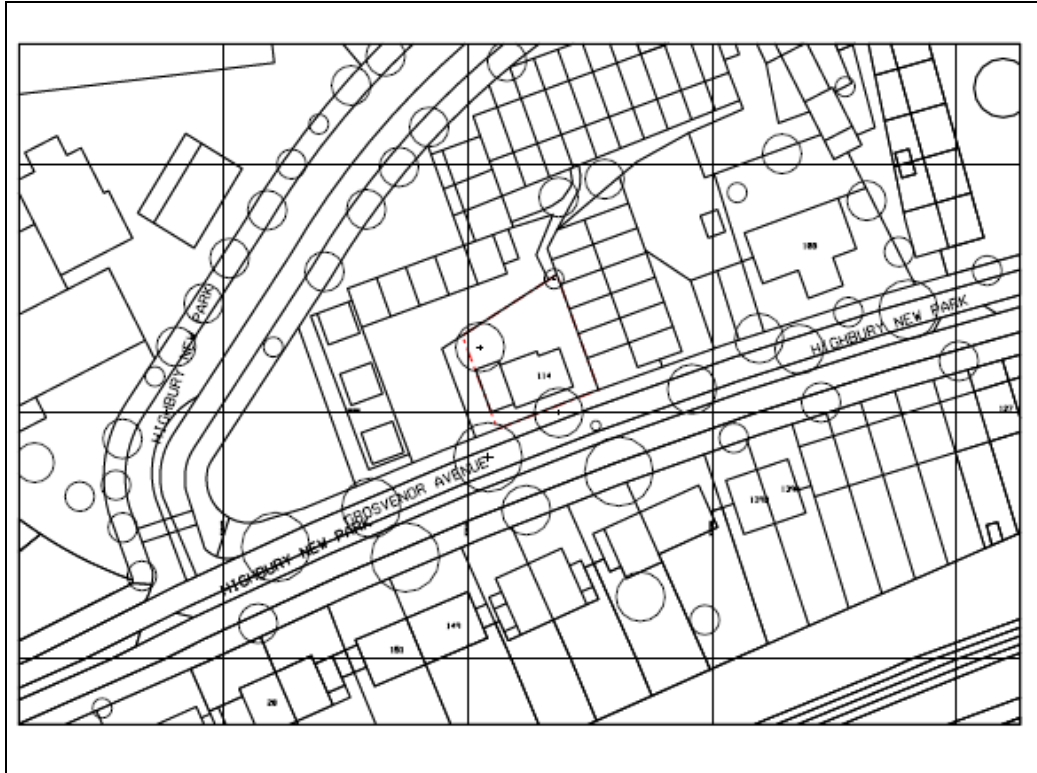
1. RECOMMENDATION

The Committee is asked to resolve to **GRANT** planning permission:

1. subject to the conditions set out in Appendix 1;
2. subject to completion of a Directors Agreement between Mike Curtis (Corporate Director of Finance & Resources) and Kevin O'Leary (Corporate Director of Environment and Regeneration) made under section

106 of the Town and Country Planning Act 1990 securing the heads of terms as set out in Appendix 1.

2. SITE PLAN (site outlined in black)



3. PHOTOS OF SITE/STREET



Image 1: Front elevation of application building



Image 2: Rear elevation from adjoining residential parking

4. Summary

- 4.1 Full Planning permission is sought for the change of use from residential children's home (Use Class C2) to 4 no. residential flats comprising 1 x 1 bedroom flat, 2 x 2 bedroom flats and 1 x 3 bedroom flat. The introduction of four residential flats at the site is considered acceptable in principle.
- 4.2 The scheme went through the Council's Asset Appraisal Process in February 2012. The proposal is to convert the building into flats and sell the property in order to generate and maximise the receipt to fund new homes. Executive on 27/03/2012 approved these decisions.
- 4.3 The area is residential in character and the site is located within the Highbury New Park Conservation Area.
- 4.4 The impact of the development on neighbours is considered to be acceptable.
- 4.5 The quality and sustainability of the resulting scheme is considered to be acceptable. The housing would comply with the minimum internal space standards required by the London Plan and Mayor's Housing SPG (Nov, 2012). Islington's Core Strategy identifies the importance of delivering new family units. The Core Strategy aims to ensure that in the future an adequate mix of dwelling sizes are delivered within new development, alongside the protection of existing family housing. Policy CS12 (Meeting the housing challenge) notes that a range of unit sizes should be provided within each housing proposal to meet the need in the borough, including maximising the proportion of family accommodation. Development Management Policy DM9 (Mix of housing sizes) further states the requirement to provide a good mix of housing sizes.

- 4.6 Private amenity space is provided in accordance with Council's requirements.
- 4.7 The redevelopment of the site does not provide vehicle parking on site and occupiers will have no ability to obtain car parking permits (except for parking needed to meet the needs of disabled people), in accordance with Islington Core Strategy policy CS10 Section H which identifies that all new development shall be car free. Appropriately located cycle parking facilities for residents have been allocated within the site.
- 4.8 In summary, the proposal is considered to be acceptable and to be broadly in accordance with the Development Plan policies.

5. SITE AND SURROUNDING

- 5.1 The application site is located on the northern side of Grosvenor Avenue and consists of a detached Victorian villa of part one storey, part three storeys over basement level. The basement area extends under the main three storey element of the property. The main entrance to the building is via Grosvenor Avenue. The majority of the building is three storeys in height with the single storey element located to the west. The surrounding area is predominantly residential in character with purpose built flats of three to four storeys to the west, north and east. Opposite the site are large residential villas. The building is not listed and is located within the Highbury New Park Conservation Area.
- 5.2 Planning permission was granted in 1968 to convert the building into a children's care home. It is in the ownership of the London Borough of Islington. The use of the property as a children's home ceased in 2007/2008 due to operational reasons following the Council's decision that the building was no longer suitable for such a use due to managerial reasons.
- 5.3 The building has been utilised as meeting/office space for LB Islington Children's Services between 2010 and 2012 however Children's Services centralised their offices to Elwood Street in 2012. The building is currently occupied by live in caretakers only.

6. PROPOSAL (IN DETAIL)

- 6.1 Full planning permission is sought for the change of use from residential children's home (Use Class C2) to 4 no. residential flats (Use Class C3) comprising 1 x 1 bedroom flat, 2 x 2 bedrooms flats and 1 x 3 bedroom flats; new windows and staircase to rear elevation; provision of 12 no. cycle spaces and bin storage area to eastern elevation.
- 6.2 The scheme went through the Council's Asset Appraisal Process in February 2012 and subsequently the now defunct ACCB (chaired by Kevin O'Leary). The proposal is to convert the building into flats and sell the property in order to generate and maximise the receipt to fund new homes. Executive on 27/03/2012 approved these decisions.
- 6.3 The layout of the building will comprise the following unit mix:

- 1 x 2 bedroom flat (82.92sqm) at basement level (Flat 1);
- 1 x 1 bedroom flat (60sqm) located over ground and first floor (Flat 2);
- 1 x 3 bedroom flat (101sqm) at ground floor and first floor (Flat 3); and
- 1 x 2 bedroom flat (78.46sqm) at second floor (Flat 4).

- 6.4 Revised drawings have been submitted following officer concern raised through the assessment of the application. Initially, when the application was submitted, a three storey side extension (90sqm) was proposed, this has subsequently been omitted from the proposal following officer concerns regarding the full height extension which would have been the same height as the main building and would consequently be over dominant and harm the host building and surrounding conservation area. In addition, internal reconfiguration has been undertaken. The initially proposed studio flat, which is not supported by DM policies, has been removed and the proposed unit mix is now supported.
- 6.5 The overall scale of the building will remain unchanged. The originally proposed side extension has been omitted from the proposal. Existing doorways and access stairs will be maintained to the front of the building. A new doorway and access stair is proposed to enable access from the flats to the rear. A new internal stairway is proposed between ground and first floor for Flat 2 and Flat 3 which are located over two levels. A private entrance door/stair will be added to provide access from the ground floor flat to the garden.
- 6.6 An existing wheelchair lift is retained to the front of the building and potential through floor lifts are shown on proposed drawings. The existing vehicular access to the east of the site will be removed and replaced with refuse and cycle storage. 12 no. bicycle spaces are provided and one mobility scooter store is also proposed.
- 6.7 Each flat has private amenity space to the rear of the building of an acceptable size. The largest of the units, flat 3, has additional amenity space to the front of the building.

7. RELEVANT HISTORY:

PLANNING APPLICATIONS:

- 7.1 Planning permission was granted on 13th June 1968 for the Conversion of 114 Grosvenor Avenue and its use as a Children's Home. Case No. TP/0824/03/A/BVH.

Planning permission was granted on 6th July 1967 for the redevelopment of the site for housing by the erection of five four-storey houses. Case No. TP/0824/03/A/22.6.67.

ENFORCEMENT:

- 7.2 None

PRE-APPLICATION ADVICE:

7.3 None.

8. CONSULTATION

Public Consultation

8.1 A total of 107 letters were sent to occupants of adjoining and nearby properties dated 19/09/2013. Additional consultation was undertaken following the submission of additional information and a revised description of development on the 21/11/2013 and 09/07/2014. Letters were sent to No's 139 – 151 Grosvenor Avenue, 1 – 71 Spring Gardens, and 114 Grosvenor Avenue. A site notice and press advert was also displayed.

8.2 No objection letters have been received from the public with regard to the application. One letter of support has been received from a resident (Councillor Andy Hull).

External Consultees

8.3 None.

Internal Consultees

8.4 **Design and Conservation:** The existing property is an extremely handsome mid Victorian villa (c.1850s) of three storeys over basement, three bays and fine entrance portico. To one side is a one storey over basement later Victorian side extension which is clearly subordinate to the main building. The building is comparable to the GII listed villas in the area and should at the very least be locally listed. It makes a substantial positive contribution to Highbury New Park Conservation Area.

The proposed side extension is the full height of the main building and is consequently over dominant and harms the host building and the conservation area. It fails to comply with the requirements for side extensions outlined in the IUDG and CADG. This aspect has now been omitted from the proposal.

8.5 **Access and Inclusive Design:** (Comments provided following revised drawings). The housing mix is now much better and to a large extent our flexible homes standards have been met. The retention of the platform lift on the stairs would be useful from both the accessibility point of view as well as visitability. I suggest the applicant considers the installation of a platform lift within the light well to serve the lower and upper ground floor levels. If installed it would deliver visibility and adaptability to 3 of the dwellings immediately. If only the potential to install such a facility is established, then at least we have secured a level of adaptability. As it is, we may have to live without access to the second floor dwelling.

Looking at the internal arrangements, the applicant is reminded that a hoist cannot pass through a load bearing wall without major consequences. It is

acceptable that the hoist passes through the doors and along the corridor so long as the route does not pass through a living space or across the entrance.

The bathroom in flat 2 is undersized. It is not essential that a bath is provided but a 1500mm turning circle should be delivered nonetheless.

The provision of a flexible homes schedule is welcome and the fact that the development is car free accepted; however, considerations should be given to how the travel and transport needs of the residents and their visitors would be met e.g. Safe drop off, accessible cycle parking and facilities for the storage and charging of mobility scooters.

8.7 **Planning Policy:** The principle of the change from C2 – residential children’s home to C3 residential is acceptable. The applicants have sought to justify the loss of the C2 use against policy DM3.8, part B, iii in the DM Policies. This part of the policy states that the council will resist development which involves loss of floorspace in sheltered housing and care homes unless either [inter alia] *“it can be demonstrated that the existing accommodation is unsatisfactory for modern standards and/or not fit for purpose...”* – The applicants’ Planning Statement paragraphs 5.4 to 5.9 provides sufficient justification for us to accept that this is the case, in particular the difficulty in internal reorganisation and lack of opportunity to fit a lift to access multiple levels. The affordable housing contribution of £200,000 is welcomed and the mix of units is acceptable.

8.8 **Housing Department:** No comment.

9.0 RELEVANT POLICIES

Details of all relevant policies and guidance notes are attached in Appendix 2. This report considers the proposal against the following development plan documents.

National Guidance

9.1 The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

Development Plan

9.2 The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, The Finsbury Local Plan 2013 and Site Allocations 2013. The policies of the Development Plan are considered relevant to this application and are listed at Appendix 2 to this report.

Designations

9.3 The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, and Site Allocations 2013:

- Highbury New Park Conservation Area

Supplementary Planning Guidance (SPG) / Document (SPD)

9.4 The SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

10. ASSESSMENT

10.1 The main issues arising from this proposal relate to:

- Land Use;
- Design and Appearance;
- Neighbouring amenity impacts;
- Quality of resulting accommodation and Dwelling Mix;

Land-use

10.2 The site is not subject to any land designations in Islington's Core Strategy or Site Allocations. The site consists of a part one storey/part three storey building historically used as a children's residential home (Use Class C2) which is in the London Borough of Islington ownership.

10.3 Permission was granted in 1968 to convert the building into a children's care home and is in the ownership of the London Borough of Islington. The use as a children's home ceased in 2007/2008 due to operational reasons following the Council determining that the building was no longer suitable for such a use due to managerial reasons. Since this time the building has been used as meeting/office space for LB Islington Children's Services between 2010 and 2012 however Children's Services centralised their offices to Elwood Street in 2012. The building is currently occupied by live-in caretakers only.

10.4 The principle of the change from C2 (residential children's home) to C3 (residential) is acceptable. The applicants have sought to justify the loss of the C2 use against policy DM3.8, part B, iii in the DM Policies. This part of the policy states that the Council will resist development which involves loss of floorspace in sheltered housing and care homes unless either [inter alia] "*it can be demonstrated that the existing accommodation is unsatisfactory for modern standards and/or not fit for purpose...*". The applicants' Planning Statement, paragraphs 5.4 to 5.9, provides sufficient justification for the Council to accept that this is the case, in particular the difficulty in internal reorganisation and lack of opportunity to fit a lift to access multiple levels which results in the property being considered unfit for modern term residential care use.

- 10.5 The introduction of a C3 residential use to this site is considered to be acceptable. The adjoining uses are residential and the proposal is considered to have a neutral amenity impact over the existing adjoining buildings.

Design and Appearance

- 10.6 The existing building is a handsome mid Victorian villa (c.1850s) of three storeys over basement, three bays and fine entrance portico. To one side is a one storey over basement later Victorian side extension which is clearly subordinate to the main building. There are no extensions proposed to the existing building.
- 10.7 Existing doorways and access stairs will be maintained to the front of the building. Existing alterations include new access will be provided to the rear of the building to the amenity space. The lower ground floor flat (Flat 1) will be accessed via a new stair located alongside the existing main entrance to the building. These minimal external alterations are considered acceptable. The remainder of the building remains unaltered.
- 10.8 Objection was raised to the proposed side extension which would have met the full height of the main building and was subsequently deemed over dominant and harmful to the host building and the conservation area. This element of the proposal has consequently been omitted from the scheme.
- 10.9 The proposal is considered to be in accordance with policies 7.4, 7.6 and 7.8 of the London Plan 2011, CS9 of the Core Strategy 2011, Policies DM2.1 (Design) and DM2.3 (Heritage) of the Development Management Policies 2013.

Neighbouring Amenity

- 10.10 The application site is located on the northern side of Grosvenor Avenue and consists of a detached Victorian villa of part one storey, part three storeys over basement. The surrounding area is predominantly residential in character with purpose built flats of three to four storeys to the west, north and east, and large residential villas on the opposite side of the street. Consideration has been given to the effect of the proposed development on neighbouring amenities in terms of overlooking, loss of privacy, loss of light and outlook.
- 10.11 The application building sits within a substantial sized plot. No new windows are proposed to the east elevation or west elevation. There is one existing basement window on the east elevation and existing first and second floor windows on the west elevation, all being retained, and serving bedrooms.
- 10.12 To the rear of the site four new windows are proposed to first and second floors. These windows would serve a bedroom at first floor and a bedroom and bathroom at second floor. These windows are to be added to the existing rear elevation above existing windows at ground and basement level. The distance between the rear elevation of the host building and the buildings to the rear of the site is 16 metres. Whilst this distance falls just short of the required 18

metres set out in policy, the 1 no. bathroom window will be obscurely glazed and the three others serve bedrooms. There are site specifics which assist the inclusion of these windows in the rear elevation including the natural screening provided to the rear of the site in the form of trees and hedges at the site. In addition, there is no rearward projecting extension proposed as part of this application. The windows would be set within the existing rear elevation of the building.

- 10.13 This separation distance is subsequently not considered to result in any unacceptable overlooking / loss of privacy to warrant the refusal of this application. However, if considered necessary then the bedroom windows could also be treated / obscurely glazed as there are secondary existing windows to these rooms on the side elevation of the building.
- 10.14 There has been no objection to the proposed works from members of the public following the consultation period. To the contrary there was one letter of support.
- 10.15 There is not considered to be any adverse material impact on residential amenity in terms of loss of light, loss of privacy, sense of enclosure or overlooking as a result of the proposed development.

Quality of Resulting Residential Accommodation and Dwelling Mix

- 10.16 The National Planning Policy Framework acknowledges the importance of planning positively for high quality and inclusive design for all development, and requires Local Authorities to deliver a wide choice of quality homes. The London Plan (2011) recognises that design quality is a fundamental issue for all tenures and that the size of housing is a central issue affecting quality.
- 10.17 Islington's Core Strategy identifies the importance of delivering new family units. Policy CS12 (Meeting the housing challenge) notes that a range of unit sizes should be provided within each housing proposal to meet the need in the borough, including maximising the proportion of family accommodation. Development Management Policy DM3.1 (Mix of housing sizes) further states the requirement to provide a good mix of housing sizes. The size mix is acceptable, offering a mix of one, two and three bed flats and at this site and in this context, this is acceptable. Half of the units are proposed to be 2-bed, which represents provision of the most needed size of market units.
- 10.18 The proposed residential units all exceed the required internal space standards and are therefore in compliance with local and national standards: (Flat 1) 1 x 2 bedroom flat (82.92sqm), (Flat 2) 1 x 1 bedroom flat (60sqm), (Flat 3) 1 x 3 bedroom flat (101sqm) and (Flat 4) 1 x 2 bedroom flat (78.46sqm).
- 10.19 Each of the proposed flats is dual aspect, hence achieving the maximum amount of natural light and ventilation through the building. In summary, it is considered that all proposed residential units would benefit from acceptable levels of natural light and an outlook that is pleasant and suitable to the

residential accommodation. This is in accordance with policy DM3.4 (Housing Standards).

- 10.20 Outdoor amenity space has been provided for all new residential each exceeding the requirements of policy DM3.5 (Private Amenity Space) of Islington's Development Management Policies. Access is achieved to the outdoor amenity space from the rear of the building in all cases apart from the additional amenity space to the front of Flat 3.
- 10.21 The proposal is for the conversion of an existing building rather than new build, and it is accepted that there are therefore constraints. Due to the width of the internal hall and location of the stair it is not possible to provide a lift within the buildings main core. The inclusion of a lift to the main core would require significant structural work and removal of original walls. An existing wheelchair lift on the front access stairs will be retained to facilitate access. In addition, Flat 3 is wheelchair accessible with potential future through floor lift and hoist locations. The WC in Flat 2 has been extended to provide an acceptable hoist path within the unit. One space for a mobility scooter has also been included.

Highways and Transportation

- 10.22 The development would be car free, as required by Core Strategy Policy CS10 and as per Condition 6 to the application, which restricts future of occupiers of both the office space and residential units, from obtaining a residents permit. This will ensure adequate provision of spaces for existing users.
- 10.23 Cycle storage is provided in line with the requirements set out in Appendix 6 of the Development Management Policies.

Affordable Housing and Financial Viability

- 10.24 The proposal is a minor application for four residential dwellings, which is below the affordable housing threshold of ten units (policies 3.13 of the London Plan and CS12G of Islington's Core Strategy).
- 10.25 The application is submitted by the London Borough of Islington and thereby a Directors agreement has been signed to secure the Affordable Housing and Small Sites Contribution of £200,000 in line with the requirement set out in the adopted SPD. The development is for the conversion of an existing building and subsequently the environmental off-set contribution is not applicable in this instance.
- 10.26 The applicant has submitted a completed CIL liability form. If granted planning permission, the development would be subject to the requirement of a CIL payment that would be payable on commencement of the development.

11.0 SUMMARY AND CONCLUSION

Summary

- 11.1 In accordance with the above assessment, it is considered that the proposed development is consistent with the policies of the London Plan, the Islington Core Strategy, the Islington Development Plan and associated Supplementary Planning Documents and should be approved accordingly.

Conclusion

- 11.2 It is recommended that planning permission be granted subject to conditions and s106 legal agreement heads of terms for the reasons and details as set out in Appendix 1 – RECOMMENDATIONS.

APPENDIX 1 – RECOMMENDATIONS

RECOMMENDATION A

That planning permission be granted subject to the prior completion of a Deed of Planning Obligation made under section 106 of the Town and Country Planning Act 1990 between the Council and all persons with an interest in the land (including mortgagees) in order to secure the following planning obligations to the satisfaction of the Head of Law and Public Services and the Service Director, Planning and Development / Head of Service – Development Management or, in their absence, the Deputy Head of Service:

1. CONTRIBUTION OF £200,000 TOWARDS AFFORDABLE HOUSING WITHIN THE BOROUGH.

That, should the Section 106 Deed of Planning Obligation not be completed within 13 weeks / 16 weeks (for EIA development) from the date when the application was made valid, the Service Director, Planning and Development / Head of Service – Development Management or, in their absence, the Deputy Head of Service may refuse the application on the grounds that the proposed development, in the absence of a Deed of Planning Obligation is not acceptable in planning terms.

ALTERNATIVELY should this application be refused (including refusals on the direction of The Secretary of State or The Mayor) and appealed to the Secretary of State, the Service Director, Planning and Development / Head of Service – Development Management or, in their absence, the Deputy Head of Service be authorised to enter into a Deed of Planning Obligation under section 106 of the Town and Country Planning Act 1990 to secure to the heads of terms as set out in this report to Committee.

RECOMMENDATION B

That the grant of planning permission be subject to conditions to secure the following:

List of Conditions:

1	Commencement
	<p>CONDITION: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.</p> <p>REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).</p>
2	Approved plans list
	<p>CONDITION: The development hereby approved shall be carried out in accordance with the following approved plans:</p>

	<p>Location Plan; GWI-AL-01-001; GWR AL (01) 002; GWR AL (01) 003; GWR AL (01) 004; GWR AL (01) 005; GWR AL (01) 010 F; GWR AL (01) 011 F; GWR AL (01) 012 A; GWR AL (01) 013 E; GWR AL (01) 015 C; GWR AL (01) 017; GWR AL (01) 018; GWR AL (01) 019; GWR AL (01) 020; GWR AL (01) 021; Design and Access Statement dated 18 June 2014; Revised Planning Statement prepared by hta dated April 2014.</p> <p>REASON: To comply with Section 70(1)(a) of the Town and Country Planning Act 1990 as amended and also for the avoidance of doubt and in the interest of proper planning.</p>
3	External
	<p>CONDITION: All new external and internal works and finishes and works of making good to the retained fabric shall match the existing adjacent work with regard to the methods used and to material, colour, texture and profile. All such works and finishes shall be maintained as such thereafter.</p> <p>REASON: In order to safeguard the special architectural or historic interest of the heritage asset.</p>
4	Windows
	<p>CONDITION: All new windows shall be painted timber to match the existing windows in terms of material, profile and detailing.</p> <p>REASON: In order to safeguard the special architectural or historic interest of the heritage asset.</p>
5	Railings to match
	<p>CONDITION: All new railings and metal staircases shall be painted black upon installation and maintained as such thereafter.</p> <p>REASON: In the interest of securing sustainable development and to ensure that the resulting appearance and construction of the development is of a high standard.</p>
6	Car Free Housing
	<p>CONDITION: All future occupiers of the residential units hereby approved shall not be eligible to obtain an on street residents' parking permit except :</p> <p>(1) In the case of disabled persons;</p> <p>(2) In the case of units designated in this planning permission as "non car free"; or</p> <p>(3) In the case of the resident who is an existing holder of a residents' parking permit issued by the London Borough of Islington and has held the permit for a period of at least one year.</p> <p>REASON: In the interests of sustainability and in accordance with the</p>

	Council's policy of car free housing.
7	Cycle Parking Provision (Compliance)
	<p>CONDITION: The bicycle storage area(s) hereby approved, which shall be secure and provide for no less than 12 bicycle spaces shall be provided prior to the first occupation of the development hereby approved and maintained as such thereafter.</p> <p>REASON: To ensure adequate cycle parking is available and easily accessible on site and to promote sustainable modes of transport.</p>
8	Accessible Homes Standards (Compliance)
	<p>CONDITION: The residential dwellings, in accordance with the Access Statement and plans hereby approved, shall be constructed to the standards for flexible homes in Islington ('Accessible Housing in Islington' SPD) and incorporating all Lifetime Homes Standards.</p> <p>REASON: To secure the provision of flexible, visitable and adaptable homes appropriate to diverse and changing needs.</p>
9	Waste Management
	<p>CONDITION: The dedicated refuse / recycling enclosure(s) shown on drawing no. GWR AL (01) 015 C shall be provided prior to the first occupation of the development hereby approved and shall be maintained as such thereafter.</p> <p>REASON: To secure the necessary physical waste enclosures to support the development and to ensure that responsible waste management practices are adhered to.</p>

List of Informatives:

1	Positive statement
	<p>To assist applicants in a positive manner, the Local Planning Authority has produced policies and written guidance, all of which is available on the Council's website. A pre-application advice service is also offered and encouraged. The LPA acted in a proactive manner offering suggested improvements to the scheme (during application processing) to secure compliance with policies and written guidance. These were incorporated into the scheme by the applicant or have been dealt with by condition. This resulted in a scheme which accords with policy and guidance as a result of positive, proactive and collaborative working between the applicant, and the LPA during the application stages.</p>
2	Community Infrastructure Levy (CIL)
	<p>Under the terms of the Planning Act 2008 (as amended) and Community Infrastructure Levy Regulations 2010 (as amended), this development is liable to pay the Mayor of London's Community Infrastructure Levy (CIL). This will be calculated in accordance with the Mayor of London's CIL</p>

	<p>Charging Schedule 2012. One of the development parties must now assume liability to pay CIL by submitting an Assumption of Liability Notice to the Council at cil@islington.gov.uk. The Council will then issue a Liability Notice setting out the amount of CIL that is payable.</p> <p>Failure to submit a valid Assumption of Liability Notice and Commencement Notice prior to commencement of the development may result in surcharges being imposed. The above forms can be found on the planning portal at: www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil</p>
3	Section 106
	SECTION 106 AGREEMENT: You are advised that this permission has been granted subject to a legal agreement under Section 106 of the Town and Country Planning Act 1990.
4	Definitions
	<p>DEFINITIONS: (Definition of 'Superstructure' and 'Practical Completion')</p> <p>A number of conditions attached to this permission have the time restrictions 'prior to superstructure works commencing on site' and/or 'following practical completion'. The council considers the definition of 'superstructure' as having its normal or dictionary meaning, which is: the part of a building above its foundations. The council considers the definition of 'practical completion' to be: when the work reaches a state of readiness for use or occupation even though there may be outstanding works/matters to be carried out.</p>

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan polices and guidance notes pertinent to the determination of this planning application.

1 National Guidance

The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

2. Development Plan

The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013 and the Finsbury Local Plan 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2011 - Spatial Development Strategy for Greater London

- 1 Context and strategy
- Policy 1.1 Delivering the strategic vision and objectives for London

- 5 London's response to climate change
- Policy 5.3 Sustainable design and construction

- 7 London's living places and spaces
- Policy 7.1 Building London's neighbourhoods and communities
- Policy 7.2 An inclusive environment
- Policy 7.3 Designing out crime
- Policy 7.4 Local character
- Policy 7.6 Architecture
- Policy 7.8 Heritage assets and archaeology

B) Islington Core Strategy 2011

- Spatial Strategy
- Policy CS8 (Enhancing Islington's Character)

- Strategic Policies
- Policy CS9 (Protecting and Enhancing Islington's Built and Historic Environment)

C) Development Management Policies June 2013

- | | |
|----------------------------|---|
| <u>Design and Heritage</u> | <u>Energy and Environmental Standards</u> |
| DM2.1 Design | DM7.4 Sustainable design standards |

DM2.2 Inclusive Design
DM2.3 Heritage

5. Designations

The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

- **Highbury New Park Conservation Area**

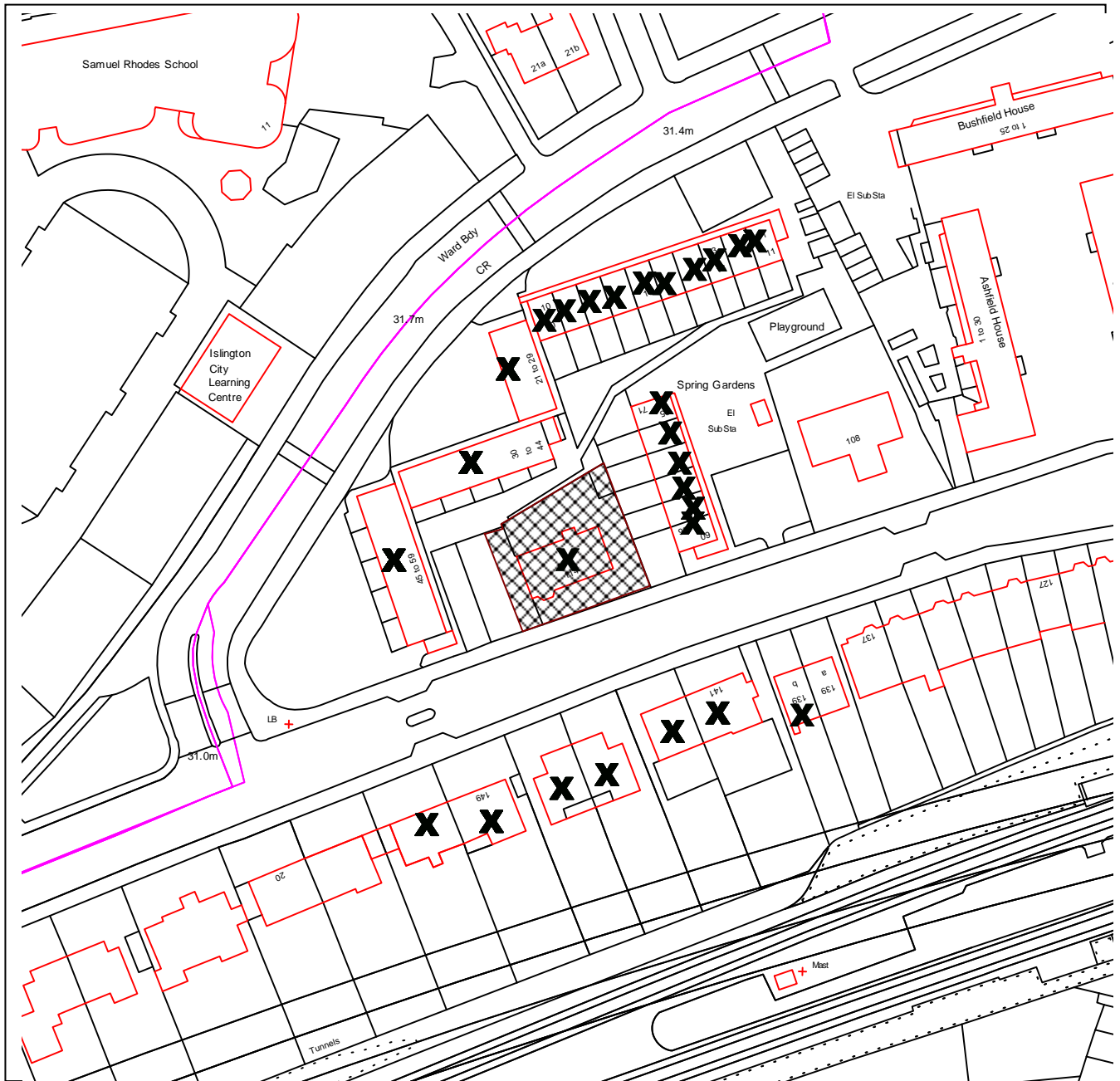
6. Supplementary Planning Guidance (SPG) / Document (SPD)

The following SPGs and/or SPDs are relevant:

- | Islington Local Development Plan | London Plan |
|---|--|
| - Conservation Area Design Guidelines (2002) | - Sustainable Design & Construction |
| - Urban Design Guide (2006) | |



ISLINGTON



DEVELOPMENT MANAGEMENT

PLANNING APPLICATION REF NO: P2013/2885/FUL

LOCATION: 114 GROSVENOR AVENUE, LONDON N5 2NY

SCALE: 1:1250

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PLANNING COMMITTEE REPORT

Development Management Service
 Planning and Development Division
 Environment and Regeneration
 Department
 PO Box 333
 222 Upper Street
 LONDON N1 1YA

PLANNING SUB-COMMITTEE B		
Date:	18 th September 2014	NON-EXEMPT

Application number	P2014/1144/FUL
Application type	Full Planning Application
Ward	Canonbury Ward
Listed building	Not listed
Conservation area	Canonbury Conservation Area
Development Plan Context	<ul style="list-style-type: none"> - Canonbury Conservation Area - Article 4.2 - Tree Preservation Order (Elm) - Tree Preservation Order (Ailanthus/Tree of Heaven)
Licensing Implications	none
Site Address	18 Alwyne Place, London, N1 2NL
Proposal	Erection of a new mansard roof to form a two bedroom flat.

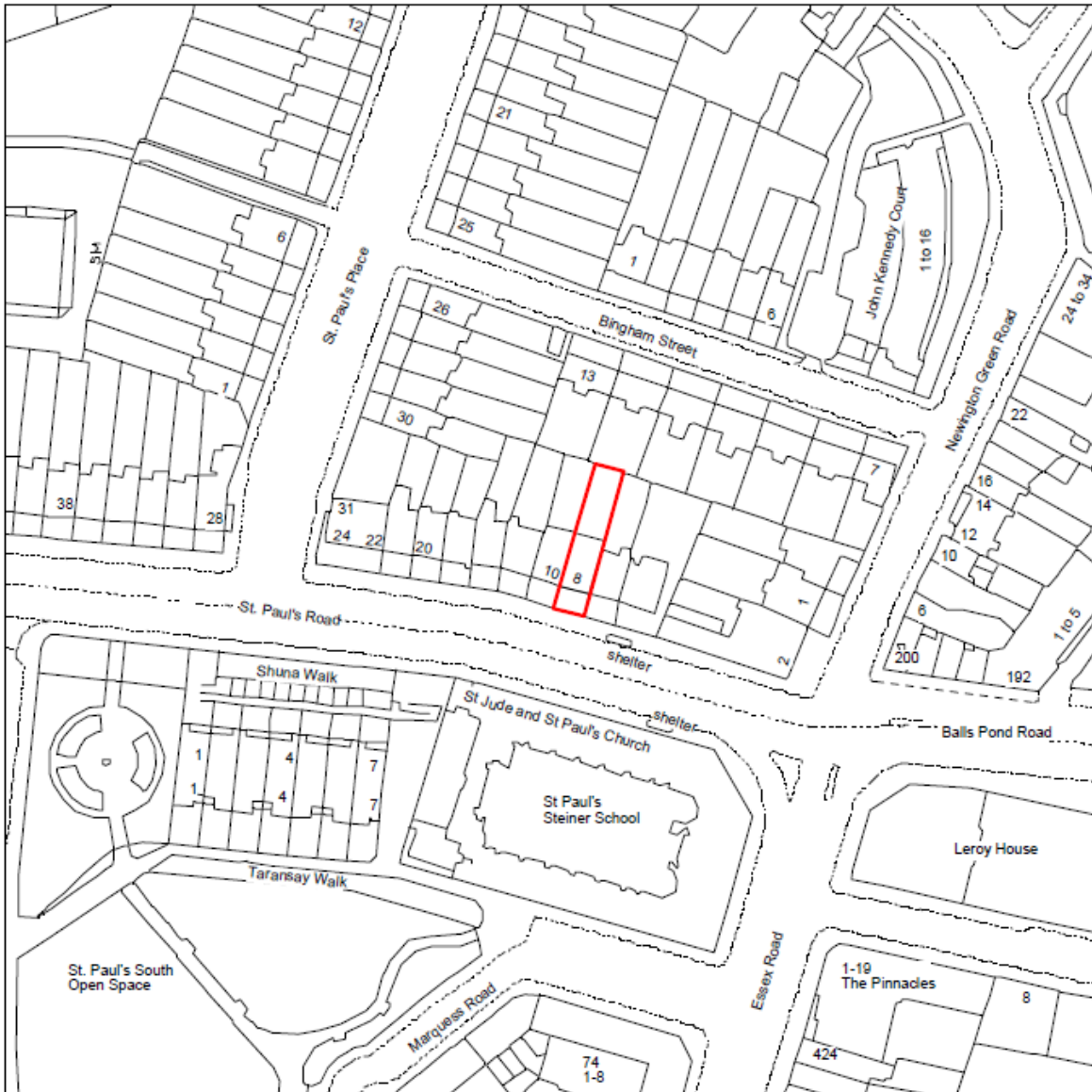
Case Officer	Emily Benedek
Applicant	Mr Chris Eliades
Agent	Mr Chris Bowen – Tasou Architects

1 RECOMMENDATION

The Committee is asked to resolve to GRANT planning permission:

1. subject to the conditions set out in Appendix 1;
2. Conditional upon the prior completion of a Deed of Planning Obligation made under section 106 of the Town and Country Planning Act 1990 securing the heads of terms as set out in Appendix 1.

2. SITE PLAN (site outlined in black)





3. PHOTOS OF SITE/STREET



Image 1: Existing front elevation



Image 2: View of neighbouring mansard roof



Image 3: View from existing roof

4 SUMMARY

- 4.1 Planning permission is sought for the erection of a mansard roof extension to provide an additional two bedroom flat at fourth floor level.
- 4.2 The proposed residential unit would provide a good level of amenity and the extension would not detract from the character and appearance of the application property or the conservation area and would not detrimentally impact upon neighbour amenity.
- 4.3 The application is therefore recommended for approval subject to conditions and completion of a S106 Agreement.

5 SITE AND SURROUNDING

- 5.1 The site is located on the east side of Alwyne Place and consists of a mid-terraced property which is used for residential purposes. The property is three storeys in height over basement, with a flat roof.
- 5.2 The properties surrounding the site on Alwyne Place comprise of traditional three storey town houses. Whilst the adjoining properties at Nos 14 and 16 Alwyne Place are Grade II Listed with pitched and mansard roofs, the application site was demolished and rebuilt in the 1960s (albeit at a lower level with a flat roof). The immediate area is predominantly residential in character.
- 5.3 The site is located within the Canonbury Conservation Area. The building is not listed.

6 PROPOSAL (in Detail)

- 6.1 The proposal consists of erection of a new mansard roof to form a two bedroom flat. The mansard roof will be of a traditional design with dormers, sash windows, lead flashing and lead cheeks.
- 6.2 The proposed mansard roof will measure 7.2 metres in width, 2.4 metres in height and 10.2 metres in depth. Three small centrally placed dormers with sash windows will be located on the front and rear elevations. The dormer windows will measure 1.5 metres in width, 1.5 metres in height and 0.6 metres in depth.
- 6.3 The proposed two bedroom flat will have an area of 61m² with two bedrooms looking onto the rear elevation. The new unit will be dual aspect and all main habitable rooms (bedrooms, living room and kitchen) will receive direct sunlight and daylight. The refuse storage facilities will be provided in the kitchen and storage facilities will be provided in the second bedroom. No amenity space is proposed.

7 RELEVANT HISTORY

PLANNING APPLICATIONS

- 7.1 961742 - Installation of new upvc windows to be fitted into existing timber boxes. Refused 20/12/1996

PLANNING APPLICATIONS

- 7.2 None

ENFORCEMENT:

- 7.3 No history.

8 CONSULTATION

Public Consultation

- 8.1 Letters were sent to occupants of 17 adjoining and nearby properties at Alwyne Place, Canonbury Place and Willow Bridge Road on 25th April 2014. A site notice was placed at the site and the application advertised on 1st May 2014. The public consultation of the application therefore expired on 22nd May 2014, however it is the Council's practice to continue to consider representations made up until the date of a decision.
- 8.2 At the time of the writing of this report twenty five (25) responses had been received from the public with regard to the application. The issues raised can be summarised as follows (with the paragraph that provides responses to each issue indicated within brackets):
- Application will affect the character and appearance of the Conservation Area (para 10.4-10.6)
 - New roof will be higher than the original roof and visible from the street level (paras 10.6)
 - Different style and materials of new part of the building (paras 10.4-10.5)
 - Already one of the tallest buildings in the area and this will make it taller (10.4)

- Contrary to Canonbury Society's principal aim – the existing roofs are very important to the character of the area (10.6)
- Bin area already over full capacity (10.22)
- Foul sewage pipes to 18 Alwyne Place already over capacity (para 8.3)
- Loss of light (para 10.16)
- Impact on protected trees (para 10.26)
- Insufficient parking spaces (10.19)
- Where will water tank be relocated? What will happen during construction works? (para 10.25)
- Party wall issues (para 8.3)
- Existing roof not flat (para 10.6)
- Noise and disturbance from construction works (para 8.3)
- Sound proofing extremely poor (para 10.20)

8.3 It must be noted that matters related to the manner and method of construction of the proposed extensions and party wall issues are not material considerations in the planning assessment of this application. These are matters that are covered by separate legislation including the Building Regulations, the Party Wall Act and the Environment Protection Act. However, a condition is proposed to ensure that construction traffic and methods would protect residential amenity.

Internal Consultees

8.4 **Design and Conservation Officer –**
 “No in principle objections to the proposal as long as the mansard roof will be constructed at 72 degrees”

8.5 **Biodiversity and Nature Consultation -**
 No comments received

8.6 **Landscape and Trees**
 No objection

External Consultees

8.7 **The Canonbury Society**
 No comments received

9 RELEVANT POLICIES

Details of all relevant policies and guidance notes are attached in Appendix 2. This report considers the proposal against the following development plan documents.

National Guidance

9.1 The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

Development Plan

- 9.2 The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The policies of the Development Plan are considered relevant to this application and are listed at Appendix 2 to this report.

Supplementary Planning Guidance (SPG) / Document (SPD)

- 9.3 The SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

10 ASSESSMENT

- 10.1 The main issues arising from this proposal relate to:

- Land use
- Design and Impact Upon Conservation Area
- Landscaping
- Amenity for Future Occupiers
- Neighbouring Amenity
- Highways and Transport
- Noise and Vibration
- Access
- Refuse
- Affordable Housing

Land use

- 10.2 The site is situated within a residential area and involves an extension to an existing residential block of 6no. self-contained flats to create a new unit. The additional development would involve a roof extension comprising a mansard roof with front and rear dormer windows. The introduction of a further residential unit is considered to be acceptable in land use terms.

Design and impact upon the Conservation Area

- 10.3 The application site consists of a mid terraced property set within a row of terraced properties of similar design. Whilst it is appreciated that the application site is non-original and does not align with the neighbouring properties, as it sits lower within the existing street scene, there is a clear vertical delineation formed by the alignment of windows in the front elevation, such that provides a uniform appearance to the street scene.
- 10.4 The proposal would introduce a mansard roof to create a new fourth floor. The mansard roof will incorporate the whole roof with 3no. subordinate dormer windows on the front and rear elevations. It is proposed that the mansard roof will be slate clad whilst the dormers will be clad in lead. These materials will match the materials used in the neighbouring roof extension at No. 15 Canonbury Place.
- 10.5 The Urban Design Guide supports roof extensions in short terraces where the existing roof line has already been broken. Traditional mansard roofs are considered the most appropriate type of roof extension in Conservation Areas.
- 10.6 The Conservation Area Design Guide (CADG) Canonbury Conservation Area states that: *where mansard roofs are permitted, the rear elevation should be mansarded, not*

in vertical brickwork, so as to maintain the butterfly or other original profile at the back. It is noted that the existing roof at No 18 is flat, whilst the neighbouring property at No 20 benefits from butterfly roof and No 16 has a mansard roof. Therefore it is not considered necessary to maintain the profile of the existing roof. Although the mansard will be visible, the new roof will be a mansard on the front and rear and will preserve the existing parapet, as well as matching the roof profile of No 16. It is therefore not considered not to have a detrimental impact on the character and appearance of the Canonbury Conservation Area.

- 10.7 The Islington Urban Design Guide (IUDG, paragraph 2.4) states that: *dormer windows usually work best where they are no wider overall than the windows in the façade, especially where they line up with the windows below.*
- 10.8 The proposed dormers in the front and rear elevations have been designed to align with the existing windows below which will ensure the proposal has minimal impact on the street scene. The applicant’s agent has confirmed that the mansard roof will have a pitch of 72 degrees.
- 10.9 As such, it is considered that the proposed roof extensions would integrate with the application property. The proposed loft extension is not considered to result in harm to the conservation area and be in accordance with adopted guidance and policies CS9 of the Core Strategy and DM2.3 of the Development Management Policies.

Amenity for Future Occupiers

- 10.10 Table 3.2 of policy DM3.4 of the Development Management document stipulates the minimum gross internal floor space required for residential units on the basis of the level of occupancy that could be reasonably expected within each unit. Details of each unit are set out in the table below against the minimum floor space standards.

Unit	No. Bedrooms/ Expected Occupancy	Floor Space	Minimum Required Floor Space	Garden Space	Minimum Required Garden Space	Storage
A	2/3	61	61	0	6	2

- 10.11 The proposed residential unit would meet the minimum required floor space as set out in the London Plan and the Development Management Policies. The unit would be dual aspect in line with Council policy.
- 10.12 With regard to amenity space, policy DM3.5 details that all new residential development should provide good quality, private outdoor space in accordance with the minimum required figures. This policy requires a minimum of 5 square metres on upper floors and 15 square metres on ground floors for a 1-2 person dwelling and for each additional occupant, an extra 1 square metre.
- 10.13 The proposed unit would be located on the fourth floor and will not have any private outdoor amenity space. The existing units do not benefit from any private amenity space, with the exception of the lower ground floor flat which has the sole use of the rear garden and therefore it is not practical to provide any private amenity space for the new unit. Given the existing site constraints and the proximity to Listed Buildings, private balconies were not considered appropriate in this location. However, it is noted that the application site is located approximately 300 metres from Canonbury Square Gardens.

- 10.14 Although it is not possible for the unit to be accessible by lift, the new staircase leading up to the unit will be ambulant disabled compliant and the unit will be fully adaptable with adequate turning circles in each of the rooms.

Neighbour Amenity

- 10.15 The proposal would introduce a fourth floor level that would include a number of windows on the front and rear elevation.
- 10.16 It is noted that the proposed windows will overlook the front forecourt of Canonbury Place and the rear garden of the application site and Nos 16 and 17 Canonbury Place. These neighbouring buildings are at a lower level than the application site and it is therefore considered that the proposal will not result in any direct overlooking or loss of amenity including loss of light to the occupiers of the neighbouring residential properties. The new dwelling will be set back from the existing parapet with windows in the same location as the windows to the existing flats at the lower floor levels and will therefore only have oblique views of the neighbouring properties. These physical dynamics of the application site in relation to the surrounding properties are considered to ensure that the proposed development would not have a material adverse impact on the amenity levels of adjoining occupiers.

Highways and Transportation

- 10.17 The site has a PTAL of 6a, which is 'Excellent', with Highbury & Islington Station and a number of major bus routes in close proximity to the site.
- 10.18 Due to the existing site constraints and the narrow staircase leading up to the existing unit it would not be practicable to have cycle parking facilities in the entrance.
- 10.19 A condition is recommended restricting the occupiers from applying for a parking permit in accordance with the Council's Car Free Housing policy.

Noise and Vibration

- 10.20 It is noted that concern has been raised regarding potential disturbance to neighbours from the proposed increase in occupancy levels at the site. Whilst the occupancy of the site would be increased, the area has high levels of flatted development. Subject to appropriate conditions regarding sound insulation for the new unit it is not considered that the proposal will create a noise nuisance to the occupiers of the neighbouring properties.

Access

- 10.21 Given the existing site constraints it is not possible to include a new lift to the proposed residential unit. The applicant's agent has confirmed that an ambulant disabled compliant staircase will be installed leading up to the flat and the new unit will be fully adaptable with adequate turning circles in each room. The proposal would comply with the Council's Flexible Homes Standards.

Refuse

- 10.22 It is proposed that individual refuse containers for the new unit will be located in the kitchen for use of the new residential flat and the applicant will therefore not be using the external bin storage facilities. It will be the owner's responsibility to ensure the refuse is placed outside on refuse collection days.

Affordable Housing and Carbon Offsetting

- 10.23 The Council's Affordable Housing Small Sites Contributions Supplementary Planning Document (SPD) together with Core Strategy policy CS12 Part G states that development proposals below a threshold of 10 residential units (gross) will be required to provide a financial contribution towards affordable housing provision elsewhere in the borough.
- 10.24 The applicant has agreed to pay the full amount of £50,000 towards affordable housing in the borough and £1,000 towards carbon offsetting and if minded to approve the application, the contribution would be secured through a legal agreement.

Other matters

- 10.25 Concerns have also been raised regarding the relocation of the existing roof top water tank. It is proposed that the existing water tank/services will be upgraded during the construction works thereby removing the need for the water tank. However it is noted that this is a civil matter and not a material planning consideration.
- 10.26 Concerns have been raised by residents regarding the potential adverse impact of the proposed development on protected trees. As the proposed works involve alterations to the loft it is not considered that the proposal will be in the root protection area of the protected trees. Furthermore the TPO trees are located in the rear garden which is only accessible from the lower ground floor unit.
- 10.27 As the proposal involves the creation of a new unit it is liable for both the Islington's CIL and the Mayoral CIL.

11 SUMMARY AND CONCLUSION

Summary

- 11.1 The proposed roof extension and additional unit is considered to be acceptable with regards to the land use, design, amenity, neighbour amenity, highways and transportation, noise levels, access, refuse and affordable housing provision.
- 11.2 As such, the proposed development is considered to accord with the policies in the London plan, Islington Core Strategy, Islington Development Management Policies and the National Planning Policy Framework and as such is recommended for an approval subject to appropriate conditions.

Conclusion

- 11.3 It is recommended that planning permission be granted subject to conditions and S106 agreement as set out in Appendix 1 - RECOMMENDATION.

APPENDIX 1 – RECOMMENDATIONS

RECOMMENDATION A

That planning permission be granted subject to the prior completion of a Deed of Planning Obligation made under section 106 of the Town and Country Planning Act 1990 between the Council and all persons with an interest in the land (including mortgagees) in order to secure the following planning obligations to the satisfaction of the Head of Law and Public Services and the Service Director Planning and Development/Head of Service – Development Management:

1. A contribution of £50,000 towards affordable housing within the Borough.
2. A contribution of £1,000 towards carbon offsetting

All payments are due on practical completion of the development and are to be index-linked from the date of committee. Index linking is calculated in accordance with the Retail Price Index. Further obligations necessary to address other issues may arise following consultation processes undertaken by the allocated S106 officer.

That, should the **Section 106** Deed of Planning Obligation not be completed within 6 weeks from the date of the committee decision of the application, the Service Director Planning and Development / Head of Service – Development Management may refuse the application on the grounds that the proposed development, in the absence of a Deed of Planning Obligation the proposed development is not acceptable in planning terms. ALTERNATIVELY should this application be refused and appealed to the Secretary of State, Service Director Planning and Development / Head of Service – Development Management be authorised to enter into a Deed of Planning Obligation under section 106 of the Town and Country Planning Act 1990 to secure to the heads of terms as set out in this report to Committee.

RECOMMENDATION B

That the grant of planning permission be subject to conditions to secure the following:

List of Conditions:

1	Commencement
	<p>CONDITION: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.</p> <p>REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).</p>
2	Approved plans list
	<p>CONDITION: The development hereby permitted shall be carried out in accordance with the following approved plans: EX00, EX01, EX02, EX03, EX04, EX05, EX06, EX07, EX08, PP00, PP01, PP02, PP03, PP04, PP05, PP06, PP07, PP08, Design & Access Statement.</p> <p>REASON: To comply with Section 70(1)(a) of the Town and Country Planning Act 1990 as amended and also for the avoidance of doubt and in the interest of proper planning.</p>

3	Materials
	<p>CONDITION: The development shall be constructed in accordance with the schedule of materials noted on the plans and within the Design and Access Statement. The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.</p> <p>REASON: In the interest of securing sustainable development and to ensure that the resulting appearance and construction of the development is of a high standard.</p>
4	Parking
	<p>CONDITION: All future occupiers of the residential unit hereby approved shall not be eligible to attain an on street residents' parking permit except:</p> <ul style="list-style-type: none"> i) In the case of disabled persons; ii) In the case of units designated in this planning permission as "non car free"; or iii) In the case of the resident who is an existing holder of a residents' parking permit issued by the London Borough of Islington and has held the permit for a period of at least one year. <p>REASON: To ensure that the development remains car free</p>
5	Code for Sustainable Homes
	<p>CONDITION: The development shall achieve a Code of Sustainable Homes rating of no less than 'Level 4'.</p> <p>REASON: In the interest of addressing climate change and to secure sustainable development.</p>
6	Refuse/Recycling Provided (Compliance)
	<p>CONDITION: Details of the dedicated refuse / recycling enclosure(s) shall be submitted to and approved in writing by the Local Planning Authority prior to the first occupation of the development and shall be maintained as such thereafter.</p> <p>REASON: To secure the necessary physical waste enclosures to support the development and to ensure that responsible waste management practices are adhered to.</p>
7	Windows (Details)
	<p>CONDITION: All new sash windows shall accurately replicate, in terms of material, profile and detailing, the original windows surviving to the property. They shall be painted timber, double-hung 6/6 sash windows with a slim profile and narrow integral (not applied) glazing bars with a putty finish (not timber bead). The glazing shall be no greater than 12mm (3mm glass : 6mm gap : 3mm glass) in total thickness. No horns, trickle vents or metallic/perforated spacer bars are permitted.</p> <p>The development shall be carried out in accordance with the details so approved and shall be maintained as such thereafter.</p> <p>REASON: In order to safeguard the special architectural or historic interest of the heritage asset.</p>

8	Noise
	<p>CONDITION: A scheme for sound insulation and noise control measures shall be implemented to achieve the following internal noise targets (in line with BS 8233:2014):</p> <p>Bedrooms (23.00-07.00 hrs) 30 dB $L_{Aeq,8\text{ hour}}$ and 45 dB $L_{max\text{ (fast)}}$ Living Rooms (07.00-23.00 hrs) 35 dB $L_{Aeq, 16\text{ hour}}$ Dining rooms (07.00 –23.00 hrs) 40 dB $L_{Aeq, 16\text{ hour}}$</p> <p>The sound insulation and noise control measures shall be carried out strictly in accordance with the details so approved, shall be implemented prior to the first occupation of the development hereby approved, shall be maintained as such thereafter and no change there from shall take place without the prior written consent of the Local Planning Authority</p> <p>Reason: To protect the amenities of future occupiers of the residential units.</p>
9	Code of Construction
	<p>CONDITION: No development (including demolition works) shall take place on site unless and until a Construction Method Statement has been submitted to and approved in writing by the Local Planning Authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:</p> <ol style="list-style-type: none"> i. the parking of vehicles of site operatives and visitors ii. loading and unloading of plant and materials iii. storage of plant and materials used in constructing the development iv. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate v. wheel washing facilities vi. measures to control the emission of dust and dirt during construction vii. a scheme for recycling/disposing of waste resulting from demolition and construction works <p>The development shall be carried out strictly in accordance with the details so approved and no change therefrom shall take place without the prior written consent of the Local Planning Authority.</p> <p>REASON: To ensure that the development does not adversely impact on neighbouring residential amenity due to its construction and operation.</p>

List of Informatives:

1	Positive Statement
	<p>To assist applicants in a positive manner, the Local Planning Authority has produced policies and written guidance, all of which is available on the Council's website.</p> <p>A pre-application advice service is also offered and encouraged. The LPA and the applicant have worked positively and proactively in a collaborative manner through both the pre-application and the application stages to deliver an</p>

	<p>acceptable development in accordance with the requirements of the NPPF.</p> <p>The LPA delivered the decision in a timely manner in accordance with the requirements of the NPPF.</p>
2	<p>Unilateral undertaking</p> <p>You are advised that this permission has been granted subject to a legal agreement under Section 106 of the Town and Country Planning Act 1990.</p>
3	<p>Highways</p> <ul style="list-style-type: none"> - Compliance with sections 168 to 175 and of the Highways Act, 1980, relating to “Precautions to be taken in doing certain works in or near streets or highways”. This relates, to scaffolding, hoarding and so on. All licenses can be acquired through streetworks@islington.gov.uk. <p>All agreements relating to the above need to be in place prior to works commencing.</p> <ul style="list-style-type: none"> - Compliance with section 174 of the Highways Act, 1980 - “Precautions to be taken by persons executing works in streets.” Should a company/individual request to work on the public highway a Section 50 license is required. Can be gained through streetworks@islington.gov.uk. Section 50 license must be agreed prior to any works commencing. - Compliance with section 140A of the Highways Act, 1980 – “Builders skips: charge for occupation of highway. Licenses can be gained through streetworks@islington.gov.uk. - Compliance with sections 59 and 60 of the Highway Act, 1980 – “Recovery by highways authorities etc. of certain expenses incurred in maintaining highways”. Haulage route to be agreed with streetworks officer. Contact streetworks@islington.gov.uk. <p>Joint condition survey required between Islington Council Highways and interested parties before commencement of building works to catalogue condition of streets and drainage gullies. Contact highways.maintenance@islington.gov.uk</p> <p>Approval of highways required and copy of findings and condition survey document to be sent to planning case officer for development in question.</p> <ul style="list-style-type: none"> - Temporary crossover licenses to be acquired from streetworks@islington.gov.uk. Heavy duty vehicles will not be permitted to access the site unless a temporary heavy duty crossover is in place. - Highways re-instatement costing to be provided to recover expenses incurred for damage to the public highway directly by the build in accordance with sections 131 and 133 of the Highways Act, 1980. - Before works commence on the public highway planning applicant must provide Islington Council’s Highways Service with six months notice to meet the requirements of the Traffic Management Act, 2004. - Development will ensure that all new statutory services are complete prior to footway and/or carriageway works commencing. - Works to the public highway will not commence until hoarding around the

	<p>development has been removed. This is in accordance with current Health and Safety initiatives within contractual agreements with Islington Council's Highways contractors.</p> <ul style="list-style-type: none"> - Alterations to road markings or parking layouts to be agreed with Islington Council Highways Service. Costs for the alterations of traffic management orders (TMO's) to be borne by developer. - All lighting works to be conducted by Islington Council Highways Lighting. Any proposed changes to lighting layout must meet the approval of Islington Council Highways Lighting. <p>NOTE: All lighting works are to be undertaken by the PFI contractor not a nominee of the developer.</p> <p>Consideration should be taken to protect the existing lighting equipment within and around the development site. Any costs for repairing or replacing damaged equipment as a result of construction works will be the responsibility of the developer, remedial works will be implemented by Islington's public lighting at cost to the developer. Contact streetlights@islington.gov.uk</p> <ul style="list-style-type: none"> - Any damage or blockages to drainage will be repaired at the cost of the developer. Works to be undertaken by Islington Council Highways Service. Section 100, Highways Act 1980. - Water will not be permitted to flow onto the public highway in accordance with Section 163, Highways Act 1980 - Public highway footway cross falls will not be permitted to drain water onto private land or private drainage. - Regarding entrance levels, developers must take into account minimum kerb height of 100mm is required for the public highway. 15mm kerb height is required for crossover entrances. - Overhang licenses are required for projections over the public highway. No projection should be below 2.4m in height in accordance with Section 178, Highways Act 1980. - Compliance with Section 179, Highways Act 1980. "Control of construction of cellars etc under street". - Compliance with Section 177 Highways Act 1980. "Restriction on construction of buildings over highways".
4	Community infrastructure Levy (CIL)
	<p>CIL Informative: Under the terms of the Planning Act 2008 (as amended) and Community Infrastructure Levy Regulations 2010 (as amended), this development is liable to pay the London Borough of Islington Community Infrastructure Levy (CIL) and the Mayor of London's Community Infrastructure Levy (CIL). These charges will be calculated in accordance with the London Borough of Islington CIL Charging Schedule 2014 and the Mayor of London's CIL Charging Schedule 2012. One of the development parties must now assume liability to pay CIL by submitting an Assumption of Liability Notice to the Council at cil@islington.gov.uk. The Council will then issue a Liability Notice setting out the amount of CIL payable on commencement of the development.</p> <p>Failure to submit a valid Assumption of Liability Notice and Commencement Notice</p>

prior to commencement of the development may result in surcharges being imposed and the development will not benefit from the 60 day payment window.

Further information and all CIL forms are available on the Planning Portal at www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil and the Islington Council website at www.islington.gov.uk/cilinfo. Guidance on the Community Infrastructure Levy can be found on the National Planning Practice Guidance website at <http://planningguidance.planningportal.gov.uk/blog/guidance/community-infrastructure-levy/>.

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

National Guidance

The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

Development Plan

The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2011 - Spatial Development Strategy for Greater London

3 London's people:

- 3.3 Increasing housing supply
- 3.4 Optimising housing potential
- 3.5 Quality and design of housing developments
- 3.8 Housing choice

6 London's transport:

- 6.3 Assessing effects of development on transport capacity
- 6.9 Cycling
- 6.13 Parking

7 London's living places and spaces:

- 7.2 An inclusive environment
- 7.3 Designing out crime
- 7.4 Local character
- 7.6 Architecture
- 7.8 Heritage assets and archaeology
- 7.15 Reducing noise and enhancing soundscapes

8 Implementation, monitoring and review:

- 8.2 Planning obligations
- 8.3 Community infrastructure levy

B) Islington Core Strategy 2011

Spatial Strategy

CS8 (Enhancing Islington's Character)

Strategic Policies

CS9 (Protecting and Enhancing Islington's Built and Historic Environment)

CS12 (Meeting the Housing Challenge)

C) Development Management Policies June 2013

DM2.1 Design

DM2.2 Inclusive Design

DM2.3 Heritage

DM3.3 Residential Conversions and Extensions

DM3.4 Housing standards

DM3.5 Private Outdoor Space

DM3.7 Noise and Vibration

DM7.1 Sustainable Design and Construction

DM7.2 Energy Efficiency and Carbon Reduction in Minor Schemes

DM8.2 Managing Transport Impacts

DM8.4 Walking and Cycling

DM8.5 Vehicle Parking

DM9.2 Planning Obligations

Supplementary Planning Guidance (SPG) / Document (SPD)

The following SPGs and/or SPDs are relevant:

Islington

- Accessible Housing in Islington
- Car Free Housing
- Planning Obligations and S106
- Urban Design Guide
- Affordable Housing Small Sites SPD
- Conservation Area Design Guidelines
- Inclusive Design

London Plan

- Accessible London: Achieving and Inclusive Environment
- Housing
- Sustainable Design & Construction
- Planning for Equality and Diversity in London

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ISLINGTON



DEVELOPMENT MANAGEMENT

PLANNING APPLICATION REF NO: P2014/1144/FUL

LOCATION: 18 ALWYNE PLACE, LONDON N1 2NL

SCALE: 1:1000

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PLANNING COMMITTEE REPORT

PLANNING SUB-COMMITTEE B		AGENDA ITEM NO:
Date:	18 th September 2014	NON-EXEMPT

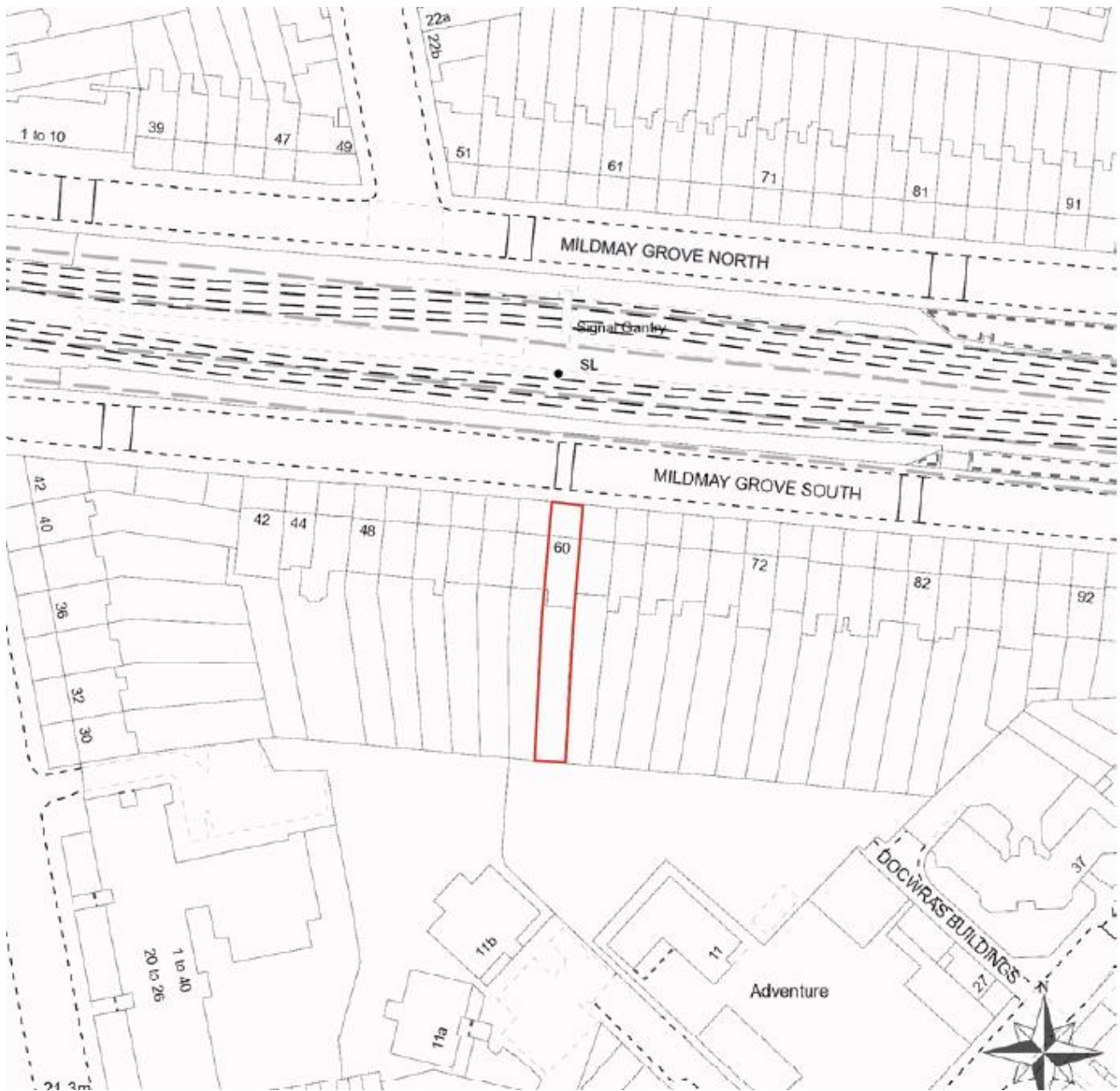
Application number	P2014/1750/FUL
Application type	Full Planning
Ward	Mildmay Ward
Listed building	N/A
Conservation area	Newington Green
Development Plan Context	Rail Safeguarding Area
Licensing Implications	None
Site Address	60 Mildmay Grove South London N1 4PJ
Proposal	Replacement two-storey rear extension and new metal steps to the side of the new extension to access garden.

Case Officer	Thomas Broomhall
Applicant	Ms Donna Walker
Agent	N/A

1 RECOMMENDATION

The Committee is asked to resolve to **REFUSE** planning permission for the reason set out in Appendix 1 – Recommendation.

2. SITE PLAN (site outlined in black)



3. PHOTOS OF SITE/STREET



Image 1 - Aerial view of the site and surroundings



Image 2 - View of rear elevation of site



Image 3 – View of rear elevation of terrace to the west of the site



Image 4 - View of rear elevation of terrace to the east of the site

4 SUMMARY

- 4.1 The application proposes the demolition of the existing two-storey timber and glass rear extension and its replacement with a two-storey rear extension and metal steps to the side of the proposed extension providing access to the garden.
- 4.2 The issues arising from the application are the impact on the character and appearance of the host building, adjoining terrace and surrounding Newington Green Conservation Area; and the impact on the neighbouring amenity of the adjoining and adjacent residential properties.
- 4.3 The proposed replacement two-storey rear extension by virtue of its scale and massing and unsympathetic design fails to maintain an acceptable sense of subservience to the host building and causes harm to the character and appearance of the rear of the terrace and wider Newington Green Conservation Area and is therefore unacceptable.
- 4.4 During the 8 week process, the Council's Design and Conservation Team raised concerns over the design and scale of the proposal. The applicant was given the opportunity to amend the scheme to overcome these concerns, prior to determination. The application was subsequently called in by Councillor Kay and Councillor Parker to be determined by the Council's Planning Committee. No revised drawings have been received to date.
- 4.5 The impact on neighbouring amenity of the adjoining and surrounding properties is acceptable.
- 4.6 The application is recommended for refusal.

5 SITE AND SURROUNDING

- 5.1 The property is a three storey over basement mid-terrace single dwelling house in a row of 29 terraced properties. The property is within the Newington Green Conservation Area however it is not listed. The site is situated fronting onto the south side of Mildmay Grove South. The surrounding area is predominantly residential.

6 PROPOSAL (in Detail)

- 6.1 The proposal is for the demolition of the existing two-storey timber and glass rear extension and its replacement with a two-storey rear extension and metal steps to the side of the new extension to provide access to the garden. The proposed extension comprises a white rendered arch over three panels of fixed glazing with a curved zinc roof. The design incorporates a roof light on either side of the arch and a strip of glazing on both side elevations which will otherwise use white render.

7 RELEVANT HISTORY:

- 7.1 None.

PLANNING APPLICATIONS

- 7.2 None.

ENFORCEMENT:

7.3 None

PRE-APPLICATION ADVICE:

7.4 None.

8 CONSULTATION

Public Consultation

8.1 Letters were sent to the occupants of 14 adjoining and nearby properties at Mildmay Grove South and King Henry's Walk on 6 June 2014. A site notice was displayed on 6 June 2014. A Press Notice was displayed on 12 June 2014. The initial round of public consultation of the application therefore expired on 3 July 2014.

8.2 At the time of the writing of this report a total of 1 objection had been received from the public with regard to the application. The issues raised can be summarised as follows (with the paragraph that provides responses to each issue indicated within brackets):

- Size of replacement extension. (See paragraph 10.10)
- Design and use of materials. (See paragraph 10.10)
- Impact of construction on party wall and foundations. (See paragraph 10.13)

External Consultees

8.3 Council for British Archaeology – no comments

Internal Consultees

Design and Conservation

8.4 The Design and Conservation officer raised an objection to the replacement extension which fails to be in keeping with the host building and rear of adjoining terrace by virtue of the scale and massing which would be created and fails to preserve or enhance the surrounding Newington Green Conservation Area.

9 RELEVANT POLICIES

Details of all relevant policies and guidance notes are attached in Appendix 1. This report considers the proposal against the following development plan documents.

National Guidance

9.1 The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

Development Plan

- 9.2 The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The policies of the Development Plan are considered relevant to this application and are listed at Appendix 1 to this report.

Designations

- 9.3 The site has the following designations under the London Plan 2011, Islington Core Strategy 2011 and Development Management Policies 2013.

Newington Green Conservation Area

Supplementary Planning Guidance (SPG) / Document (SPD)

- 9.4 The SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

10 ASSESSMENT

- 10.1 The main issues arising from this proposal relate to:

- The impact on the character and appearance of the host building, adjoining terrace and surrounding conservation area;
- The impact on the neighbouring amenity of the adjoining and surrounding residential properties; and
- Other matters

Impact on the character and appearance of the host building, adjoining terrace and surrounding conservation area

- 10.2 The site is located within the extended Newington Green Conservation Area under the amended Newington Green Conservation Area Design Guidelines, adopted in March 2014. It is likely that the rear elevation of the terrace was originally built with a consistent arrangement along its length with a flat rear face without rear extensions or projections. There is one recent approval for a rear extension in the terrace under the current policy guidelines, for a basement level rear extension at no. 50 Mildmay Grove South approved in April 2014.
- 10.3 Prior to the adoption of the extended conservation area and guidelines, permission was granted for rear extensions on the rear of the terrace at no. 50 for a full width rear extension at basement level in 2003 and a part width rear extension at ground floor level in 2011. Records indicate approvals at no's 72 and 76 although this was prior to the current policy guidelines. The existence of other existing rear extensions at no's 56, 66 and 70 without any record of consent, is noted in addition to the existing four storey rear projection at no. 46. As a result the rear elevation of the terrace has seen a number of rear additions although almost entirely prior to the adoption of the current conservation area guidelines. With the exception of no. 46, the additions are single storey and not widely visible across the rear of the terrace.
- 10.4 Paragraph 207 of the Newington Green Conservation Area Design Guidelines requires extensions to be adequately subordinate to the mass and height of the

building. Full width rear extensions higher than one storey or half width rear extensions higher than two storeys, will not normally be permitted, unless it can be shown that no harm will be caused to the character of the building and the wider area.

- 10.5 Section 2.52 of the Islington Urban Design Guide requires rear extensions to avoid disrupting the existing rhythm of the existing rear elevations, or dominating the main building. On upper floor extensions the materials, detailing and form of the extension should normally be sympathetic to the terrace.
- 10.6 The application represents the replacement of an existing two storey part width rear extension which currently exceeds half the width of the rear elevation. It should be noted that the existing extension does not accord with the Conservation Area Design Guidance and would not ordinarily be approved under the current policy guidelines. The replacement extension adds a marginal increase to the volume of the existing extension as well as alteration to the shape and a greater maximum height.
- 10.7 Consideration was given to the proportions of the four storey rear elevation of the host building, the long expanse of rear terrace within which the site is located and the history and nature of additions to the rear of the terrace.
- 10.8 Given its mid-terrace position and height, the proposal forms a highly visible and prominent addition to the rear of the terrace and surrounding Newington Green Conservation Area. The visibility of the extension above other rear additions would be amplified by the use of a white rendered vaulted arch reaching a maximum height of 5.3 metres. The curved design and materials of the proposed extension do not relate, nor respect the original character of the flat backed bricked rear elevation of the property and adjoining terrace. The use of a painted white finish on the four storey addition to no. 46 is noted but this individual historic addition does not alter the overall character of the rear elevation of the terrace.
- 10.9 The scale and massing of the proposed two storey rear extension fails to maintain an acceptable sense of subservience to the host building and causes harm to the character and appearance of the rear of the terrace and wider Newington Green Conservation Area. The proposed scheme therefore fails to accord with the Newington Green Conservation Area Design Guide and the Islington Urban Design Guide.

Neighbouring Amenity

- 10.10 Concerns were received regarding impact on daylight of the adjoining property at no. 58 due to the size and materials of the proposed extension. An assessment was made of the impact of the extension on the neighbouring amenity of the adjoining properties. Consideration was given to the modest increase in volume and the alterations to the design and use of solid materials on the roof and side elevation. The proximity of the extension to the habitable windows and glazed door on the rear elevation of the adjoining properties at no's 58 and 62 Mildmay Grove South was also noted. The proposal was assessed against the BRE Guidelines and passes the 45 degree rule in plan in relation to the habitable windows at basement and ground floor on the rear elevation of no's 58 and 62. There is not considered to be a significantly harmful impact on neighbouring amenity in terms of loss of daylight,

overshadowing, outlook or creation of undue sense of enclosure as to sustain a refusal of the application on this basis.

- 10.11 The proposed metal stair case is not considered to create an increase in overlooking due to its position, height, limited length, height of the boundary fence, and proximity to windows of habitable rooms of the rear of no. 58.

National Planning Policy Framework

- 10.12 The scheme fails to comply with the provisions of the NPPF as it is not sustainable development and fails to comply with local policy, and is not in accordance with statutory and material considerations.

Other Matters

- 10.13 Concerns were raised by a neighbour over impact of construction works on party walls and foundations. However this is not a material planning consideration and would be dealt with under separate legislation. Therefore it would be unreasonable to refuse the application on this basis and would be more satisfactorily dealt with under separate legislation either under the Party Wall Act or by Building Regulations.

11 SUMMARY AND CONCLUSION

Summary

- 11.1 The proposed replacement two-storey rear extension by virtue of its scale and massing and unsympathetic design fails to maintain an acceptable sense of subservience to the host building and causes harm to the character and appearance of the rear of the terrace and wider Newington Green Conservation Area and is therefore unacceptable.

Conclusion

- 11.2 It is recommended that planning permission be refused for the reason set out in Appendix 1 – Recommendation.

APPENDIX 1 – RECOMMENDATION

RECOMMENDATION A - APPLICATION FOR FULL PLANNING PERMISSION – P2014/1750/FUL

That planning permission be refused for the following reason:

The proposed replacement two-storey rear extension by virtue of its scale and massing and unsympathetic design fails to maintain an acceptable sense of subservience to the host building and causes harm to the character and appearance of the rear of the terrace and wider Newington Green Conservation Area and is therefore unacceptable. The proposal is therefore contrary to policy 12 (Conserving and enhancing the historic environment) of the National Planning Policy Framework (2012), policy 7.8 (Sustaining and enhancing the significance of heritage assets) of the London Plan (2011), policy CS9 (Protecting and enhancing Islington’s built and historic environment) of Islington’s Core Strategy 2011, policy DM2.1 (Design) and policy DM2.3 (Heritage) of Islington’s Development Management Policies (2013) and guidance contained within the Newington Green Conservation Area Design Guidelines (2014) and the Islington Urban Design Guide (2006).

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

1. National and Regional Guidance

The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

2. Development Plan

The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2011 - Spatial Development Strategy for Greater London

7 London's living places and spaces
Policy 7.4 Local character
Policy 7.6 Architecture
policy 7.8 (Sustaining and enhancing the significance of heritage assets)

B) Islington Core Strategy 2011

Policy CS8 (Enhancing Islington's Character)
Policy CS9 (Protecting and Enhancing Islington's Built and Historic Environment)

C) Development Management Policies June 2013

DM2.1 Design
DM2.3 Heritage

3. Designations

The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

Islington Local Plan

Newington Green Conservation Area

4. Supplementary Planning Guidance (SPG) / Document (SPD)

The following SPGs and/or SPDs are relevant:

Islington Local Plan

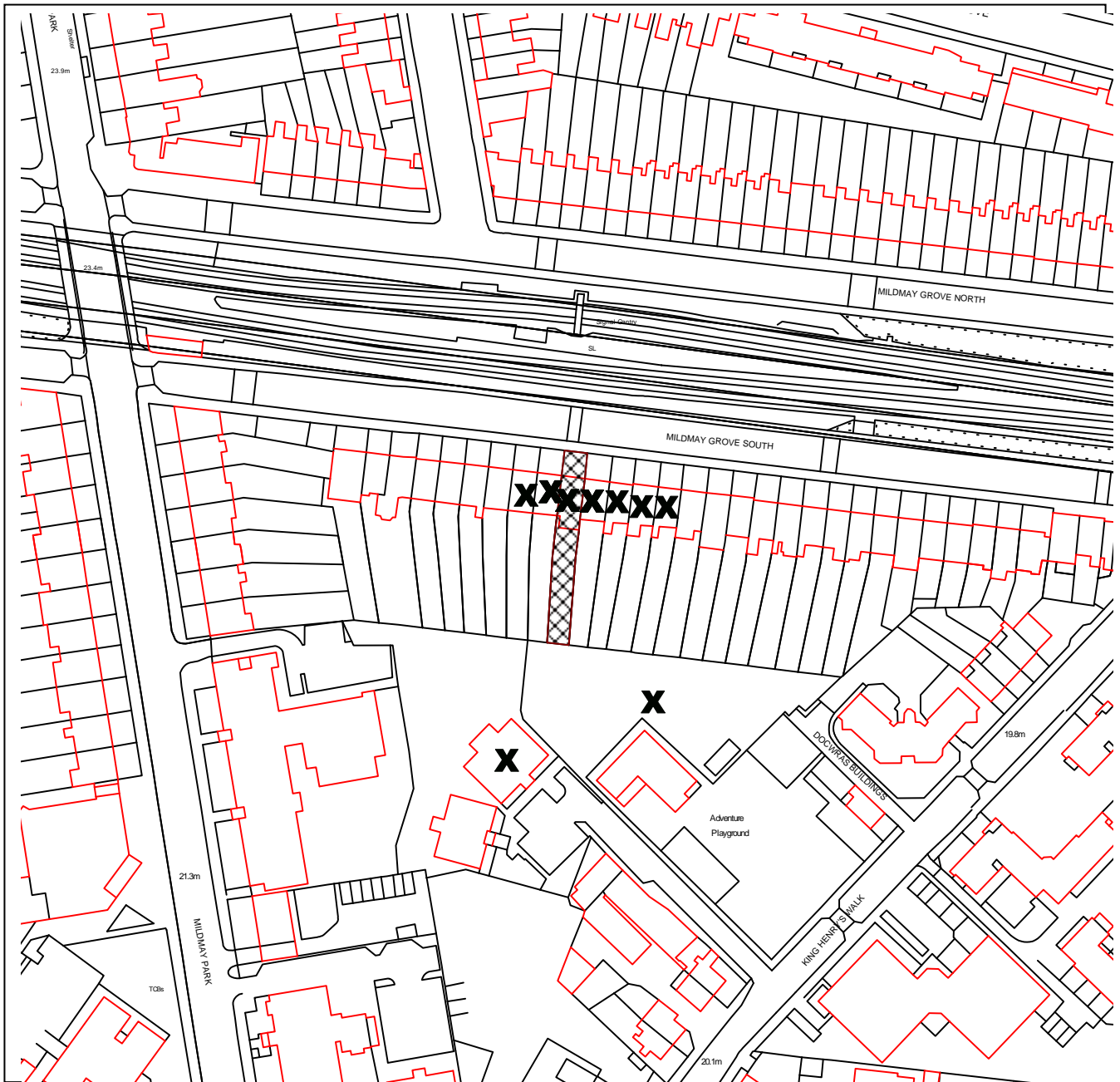
Newington Green Conservation Area

Design Guidance

Islington's Urban Design Guide



ISLINGTON



DEVELOPMENT MANAGEMENT

PLANNING APPLICATION REF NO: P2014/1750/FUL

LOCATION: 60 MILDMAY GROVE SOUTH LONDON LONDON N1
4PJ

SCALE: 1:1500

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PLANNING COMMITTEE REPORT

PLANNING SUB-COMMITTEE B		AGENDA ITEM NO:
Date:	18 th September 2014	NON-EXEMPT

Application numbers	P2014/1208/FUL & P2014/1276/LBC
Application types	Full Planning & Listed Building Consent
Ward	Mildmay Ward
Listed building	Grade II
Conservation area	Canonbury
Development Plan Context	None
Licensing Implications	None
Site Address	8 St. Paul's Road, London N1 2QN
Proposals	<p>P2014/1208/FUL - Erection of a part three storey, part single storey rear extension. Alterations to the rear façade, creation of new steps to rear garden and associated landscaping.</p> <p>P2014/1276/LBC - Application for Listed Building Consent for demolition of existing rear projection and garden shed and the erection of a part three storey, part single storey rear extension. Alterations to the rear façade, creation of new steps to rear garden, associated landscaping and internal alterations.</p>

Case Officer	Thomas Broomhall
Applicant	Mrs Katrina Scior
Agent	Ms Helene Gullaksen

1 RECOMMENDATION

The Committee is asked to resolve to **REFUSE** planning permission and listed building consent for the reasons set out in Appendix 1 – Recommendations.

2. SITE PLAN (site outlined in black)



3. PHOTOS OF SITE/STREET



Image 1 - Aerial view of the site and surroundings



Image 2 - View of rear elevation of the site



Image 3 – View of rear elevation of the adjoining property at no. 10 St Paul's Road



Image 4 – View of rear elevation of the adjoining property at no. 6 St Paul's Road

4 SUMMARY

- 4.1 The application is for Full Planning Permission and an associated application for Listed Building Consent and the report addresses both applications.
- 4.2 The application for Full Planning Permission (ref: P2014/1208/FUL) proposes the erection of a part three storey, part single storey rear extension and alterations to the rear façade, creation of new steps to the rear garden and associated landscaping.
- 4.3 The application for Listed Building Consent (ref: P2014/1276/LBC) proposes the demolition of the existing rear projection and garden shed and the erection of a part three storey, part single storey rear extension. The Listed Building Consent application also proposes alterations to the rear façade, creation of new steps to rear garden, associated landscaping and internal alterations.
- 4.4 The issues arising from the application for Full Planning Permission are the impact on the setting of the listed building, the impact on the character and appearance of the listed terrace and surrounding Canonbury Conservation Area; and the impact on the neighbouring amenity of the adjoining and adjacent residential properties.
- 4.5 The issues arising from the application for Listed Building Consent are the impact on the historic fabric and setting of the listed building and the impact on the character and appearance of the listed terrace.
- 4.6 The proposed works to build a three storey closet wing style rear extension by virtue of their detrimental impact on the rear elevation and rear building line of the listed terrace, loss of historic fabric and unsympathetic design would adversely affect the character and special architectural and historic interest of the listed building.
- 4.7 The impact on neighbouring amenity of the adjoining and surrounding properties is considered to be acceptable.
- 4.8 Issues were raised in respect of the concerns over the height of the proposal. The applicant was given the opportunity to amend the scheme to reduce the 3 storey extension to 2 storeys to overcome these concerns, prior to determination of both applications. The application was subsequently called in by Councillor Kay and Councillor Parker to be determined by the Council's Planning Committee. No revisions have been received to date.
- 4.9 The applications for Full Planning Permission and Listed Building Consent are unacceptable and therefore recommended for refusal.

5 SITE AND SURROUNDING

- 5.1 The property is a three storey over basement mid-terrace Grade II Listed property in a row of 4 similar Grade II Listed properties adjoining a further 5 Grade II Listed terraced properties. The property is within the Canonbury Conservation Area. The site fronts the north side of St Paul's Road. The surrounding area is predominantly residential.

6 PROPOSAL (in Detail)

- 6.1 The proposal is for the demolition of the existing rear projection and garden shed and the erection of a full width part three storey, part single storey rear extension. The proposed three storey extension comprises London Stock Brick and 3 no. timber sash windows with brick arches. The proposed single storey extension is fully glazed and adjoins the boundary/party wall of a matching extension at no.10. The application also proposes alterations to the rear façade, steps to rear garden, associated landscaping and internal alterations.

7 RELEVANT HISTORY:

PLANNING APPLICATIONS

- 7.1 The application follows a previous application for full planning permission and associated listed building consent on the application site which was refused:
- 7.2 **P090384 (Full Planning Application) and P090423 (Application for Listed Building Consent)** – Erection of a single Storey conservatory to the rear. Refused on 05/05/2009 at 8 St Paul's Road.

Both applications were refused for the following reason:

REASON: The proposed extension by virtue of its design would have a detrimental impact on the special interest and character and appearance of the building, the integrity of the terrace and the character and appearance of the conservation area contrary to policies D11, D22 and D28 of the Islington Unitary Development Plan (2002).

- 7.3 The applications were refused for 1 reason relating to:

- Impact upon the setting of the listed building, listed terrace and surrounding Canonbury conservation area

- 7.4 Planning application P090384 and application for listed building consent P090423 were appealed and dismissed (February 2010). Reference of appeal and inspectors conclusion.

- 7.5 **P110115 (Full Planning Application) and P110116 (Application for Listed Building Consent)** - Erection of a single storey lower ground floor rear extension and first floor half width rear addition, new rear windows and internal alterations at 10 St Paul's Road. Approved with conditions on 11/03/2011.

CONDITION: All new facing brickwork shall match the existing brickwork adjacent in respect of colour, texture, face bond and pointing, unless shown otherwise on the drawings or other documentation hereby approved or required by any condition(s) attached to this consent. The pointing shall be carried out using a lime mortar with a ratio of 1:2:9 (cement:lime:sand) and shall be flush/slightly recessed.

REASON: In order to safeguard the architectural integrity of the host Grade 2 Listed building in accordance with UDP policies D4, D11, D24 and policy 9 of Islington's Core Strategy 2011

ENFORCEMENT:

7.6 None

PRE-APPLICATION ADVICE:

7.7 The application follows desktop pre-application advice (Ref: Q2013/5133/LBC) provided in March 2014 in relation to a proposed three storey rear extension, single storey glazed rear extension and internal alterations at 8 St Paul's Road. The advice indicated that the Council's policies resist upper floor rear extensions beyond two storeys to avoid an extension that inappropriately dominates the main building. However it acknowledged that a similar scheme for a three storey half width rear extension and single storey half width glazed extension was approved at the adjoining property at no. 10 St Paul's Road in March 2011.

7.8 Regrettably, without a site visit to view the existing situation on site, the advice stated that the proposed three-storey extension is likely to be acceptable. This was based on the context of the approval on the adjoining property which was seen as an exceptional case to the current policies. The advice did make clear that the acceptability of a three storey rear extension would need to be confirmed by an assessment of the existing situation on site following a site visit.

8 CONSULTATION

Public Consultation

8.1 Letters were sent to occupants of 8 adjoining and nearby properties at St Paul's Road and Bingham Street on 2 May 2014. A site notice was displayed on 1 May 2014. A Press Notice was displayed on 1 May 2014. The initial round of public consultation of the application therefore expired on 23 May 2014.

8.2 At the time of the writing of this report 1 objection had been received from the public with regard to the application. The issues raised can be summarised as follows (with the paragraph that provides responses to each issue indicated within brackets):

- Use of matching brickwork. (See paragraph 10.16)
- External lighting on rear elevation (See paragraph 10.22)
- Reasonable working hours (See paragraph 10.24)

External Consultees

8.3 English Heritage – No objections

8.4 London & Middlesex Archaeological Society – Objects

Internal Consultees

Design and Conservation

8.5 The Design and Conservation Officer raised an objection to the proposed works to build a three storey closet wing style rear extension by virtue of their detrimental impact on the rear elevation of the listed building and rear building line of the listed terrace, loss of historic fabric and unsympathetic design which would adversely

affect the character and special architectural and historic interest of the listed building.

9 RELEVANT POLICIES

Details of all relevant policies and guidance notes are attached in Appendix 2. This report considers the proposal against the following development plan documents.

National Guidance

- 9.1 The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

Development Plan

- 9.2 The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The policies of the Development Plan are considered relevant to this application and are listed at Appendix 1 to this report.

Designations

- 9.3 The site has the following designations under the London Plan 2011, Islington Core Strategy 2011 and Development Management Policies 2013.

Canonbury Conservation Area

Supplementary Planning Guidance (SPG) / Document (SPD)

- 9.4 The SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

10 ASSESSMENT

- 10.1 The main issues arising from this proposal relate to:

- The impact on the historic fabric of the building both internally and externally.
- The impact on the setting of the listed building;
- The impact on the character and appearance of the listed terrace and surrounding conservation area;
- The impact on the neighbouring amenity of the adjoining and surrounding residential properties; and
- Other matters

Assessment of architectural and historic significance

- 10.2 No. 8 St Paul's Road is part of a Grade II listed terrace within the Canonbury Conservation Area. The house was built in c.1845 of yellow stock brick set in Flemish bond, with stucco detailing and a roof obscured by parapet. The house comprises three storeys over a basement.

External Alterations

Impact on the historic fabric of the building/Setting of the Listed Building

- 10.3 A three storey rear extension erected on the adjoining property at no. 10 St Paul's Road is noted and that extension was approved in 2011.
- 10.4 Subsequent to this decision being made, the National Planning Policy Framework (2012), Planning Practice Guidance (2014) and Islington's Development Management Policies (2013) have all been adopted. The new policy, although, similar in terms of its principles, gives further weight to the assessment of the significance of heritage assets and gives greater guidance on what may contribute to a listed building's significance and on what alterations may cause unacceptable harm.
- 10.5 The approved three-storey rear extension dominates the rear elevation of the listed building due to its disproportionate height and is uncharacteristic of the listed terrace. The extension demonstrates the harm that can be caused to the historic fabric and setting of the listed building by an inappropriate extension. It is considered therefore, that this extension cannot be used as a precedent with which to consider the proposed three storey rear extension as an exception to the current policy guidance. Consequently, a reappraisal of the significance of the listed building was required and a new assessment of the impact of the proposed extension.
- 10.6 Part A of policy DM2.3 requires the borough's heritage assets to be conserved and enhanced in a manner appropriate to their significance.
- 10.7 Part C (ii) of policy DM2.3 states that the significance of a listed building can be harmed by inappropriate repair, alteration or extension. Proposals to repair, alter or extend a listed building must be justified and appropriate. Proposals to repair alter or extend a listed building which harm its significance will not be permitted unless there is a clear and convincing justification. Substantial harm to or loss of a listed building will be strongly resisted.
- 10.8 The removal of the existing non-original rear extension and garden shed and the proposed single storey glazed extension are acceptable.
- 10.9 However the proposed three storey closet wing style extension is disproportionately high in relation to the historic fabric and setting of the listed building and is uncharacteristic of the listed terrace. The application has failed to provide justification for the harm to the significance of the listed building and as such fails to accord with policy DM2.3 and the current policy guidelines and is unacceptable.
- 10.10 The unfortunate existence of a similar extension at no. 10 only serves to enforce the reality of the harm that such a disproportionately high extension would have on the architectural integrity, character and appearance of the listed building. Furthermore, approving a further 3 storey extension may serve to weaken our ability to resist future similar extensions along the rear of this listed terrace and thus undermine the heritage asset of this terrace.

Impact on the Character and Appearance of the Listed Terrace and Surrounding Conservation Area

- 10.11 Paragraph 8.21 of the Canonbury Conservation Area Design Guidelines states that 'half width rear extensions higher than two-storeys, will not normally be permitted, unless it can be shown that no harm will be caused to the character of the area'.
- 10.12 Part B (i) of DM2.3 requires alterations to existing buildings in conservation areas conserve or enhance their significance. Harm to the significance of a conservation area will not be permitted unless there is a clear and convincing justification.
- 10.13 Within the terrace of 4 properties currently only no. 10 has a three storey rear extension. The remaining three properties have part width two storey rear projections of modest height and depth at ground floor and basement level. The approved three storey rear extension at no.10 is therefore not characteristic of the rear of the immediate terrace of listed properties which form the context for the application.
- 10.14 There is an adjacent terrace of six houses at no's 14-24 St Paul's Road, which are a storey higher than the terrace in question and there are two closet wings of 3 or 4 storeys. However there is no record of consent for these additions which are likely to be historic. As these houses are a storey higher than the application site, they should not be used as a context to inform a three storey extension to no. 8.
- 10.15 The proposed three storey extension would cause unacceptable harm to the character and significance of the Grade II listed building and character of the Canonbury Conservation Area. The proposed extension therefore fails to accord with policy DM2.3 and the Canonbury Conservation Area Design Guidelines.
- 10.16 A comment was received from a neighbouring property regarding a perceived unwelcome visual impact of the yellow bricked three storey extension erected at no. 10. Condition 4 attached to Listed Building Consent P110116 at 10 St Paul's Road, requires all new facing brickwork to match the existing brickwork adjacent in respect of colour, texture, face bond and pointing. The extension which has been built appears to have failed to comply with the requirements of this condition which has exacerbated the harm caused to the listed building and listed terrace. An Enforcement Case was opened in June 2014 in relation to the breach of this condition.

Internal Alterations

Impact on the historic fabric of the building

- 10.17 The proposal seeks to widen the existing opening at lower ground floor level in the original rear wall beyond the current double door opening in order to provide access into the proposed single storey glazed extension. This is considered to be an unacceptable loss of original fabric.
- 10.18 The proposed opening to provide access to the extension from the stair landing between ground and first floors will use the existing window opening in part, but will also widen the opening to create a door and a window. This is also considered to be an unacceptable loss of original fabric.
- 10.19 The internal proposals to level the floor levels and lower ground (front and rear rooms) and ground floor levels (towards the rear/closet wing) are acceptable. The

ceiling may be replaced to what was originally the rear room at lower ground floor which would be welcomed.

Neighbouring Amenity

- 10.20 An assessment was made of the impact of the proposed rear extension on the neighbouring amenity of the adjoining properties. Consideration was given to the impact on the habitable windows on the rear elevation of the adjoining properties at no's 6 and 10 St Paul's Road. This involved an assessment of the depth of the extension and the impact on levels of daylight/sunlight, the impact on overshadowing and outlook of the windows of the habitable rooms.
- 10.21 There is not considered to be a detrimental sense of enclosure on the rear elevation at no's 6 and 10 due to the modest increase in depth of the three storey extension. The proposed rear extension and alterations to the rear façade is not considered to cause unacceptable harm to the amenities of the neighbouring occupiers in terms of loss of outlook, loss of daylight, creation of undue sense of enclosure or increase in overlooking.
- 10.22 Comments were received regarding external lighting installed on the rear elevation of no.10 requesting a condition to prevent external lighting on the rear elevation of no. 8 although none was proposed on this application. Whilst the installation of external lighting is likely to require Listed Building Consent, as no external lighting is proposed as part of the current application it would be unreasonable to attach a condition to restrict these works.

National Planning Policy Framework

- 10.23 The scheme fails to comply with the provisions of the NPPF as it is not considered to be sustainable development, and fails to comply with local policy, and is not in accordance with statutory and material considerations.

Other Matters

- 10.24 Concerns were raised by a neighbour over potential disturbance during construction works from excessive working hours outside of the Council's prescribed hours of construction. However given the scale of the proposed development this is not a material planning consideration and would be more satisfactorily dealt with under separate legislation either under the Party Wall Act or by Building Regulations.

11 SUMMARY AND CONCLUSION

Summary

- 11.1 The proposed works to build a three storey closet wing style rear extension are unacceptable by virtue of their detrimental impact on the rear elevation and rear building line of the listed terrace, loss of historic fabric and unsympathetic design adversely affect the character and special architectural and historic interest of the listed building.

Conclusion

11.2 It is recommended that planning permission and listed building consent be refused for the reasons set out in Appendix 1 – Recommendations.

APPENDIX 1 – RECOMMENDATIONS

RECOMMENDATION A - APPLICATION FOR FULL PLANNING PERMISSION - P2014/1208/FUL

That planning permission be refused for the following reason:

REASON: The proposed works to build a three storey closet wing style rear extension by virtue of their detrimental impact on the rear elevation and rear building line of the listed terrace, loss of historic fabric and unsympathetic design would adversely affect the character and special architectural and historic interest of the listed building, listed terrace and surrounding Canonbury Conservation Area. The works would, therefore, cause harm to the significance of the heritage asset and are unacceptable, contrary to policy 12 (Conserving and enhancing the historic environment) of the National Planning Policy Framework 2012, policy 7.8 (Sustaining and enhancing the significance of heritage assets) of the London Plan 2011, policy CS9 (Protecting and enhancing Islington's built and historic environment) of Islington's Core Strategy 2011, policy DM2.1 (Design) and policy DM2.3 (Heritage) of Islington's Development Management Policies 2013 and guidance contained within the Canonbury Conservation Area Design Guidelines 2002, the Islington Urban Design Guide 2006 and London terraced Houses 1660-1860 1996.

RECOMMENDATION B - APPLICATION FOR LISTED BUILDING CONSENT - P2014/1276/LBC

That Listed Building Consent be refused for the following reason:

REASON: The proposed works to build a three storey closet wing style rear extension by virtue of their detrimental impact on the rear elevation and rear building line of the listed terrace, loss of historic fabric and unsympathetic design would adversely affect the character and special architectural and historic interest of the listed building. The works would, therefore, cause harm to the significance of the heritage asset and are unacceptable, contrary to policy 12 (Conserving and enhancing the historic environment) of the National Planning Policy Framework 2012, policy 7.8 (Sustaining and enhancing the significance of heritage assets) of the London Plan 2011, policy CS9 (Protecting and enhancing Islington's built and historic environment) of Islington's Core Strategy 2011, policy DM2.1 (Design) and policy DM2.3 (Heritage) of Islington's Development Management Policies 2013, the Islington Urban Design Guide 2006 and London terraced Houses 1660-1860 1996.

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

1. National and Regional Guidance

The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

- NPPF - Policy 12 - Conserving and Enhancing the Historic Environment
- Planning Practice Guide (2014)
- Conservation Principles (English Heritage, 2008)
- London Terraced Houses 1660-1860 (1996)

2. Development Plan

The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2011 - Spatial Development Strategy for Greater London

7 London's living places and spaces
Policy 7.4 Local character
Policy 7.6 Architecture
policy 7.8 Sustaining and enhancing the
significance of heritage assets

B) Islington Core Strategy 2011

Policy CS8 (Enhancing Islington's
Character)
Policy CS9 (Protecting and Enhancing
Islington's Built and Historic Environment)

C) Development Management Policies June 2013

DM2.1 (Design)
DM2.3 (Heritage)

3. Designations

The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

Islington Local Plan
Canonbury Conservation Area

4. Supplementary Planning Guidance (SPG) / Document (SPD)

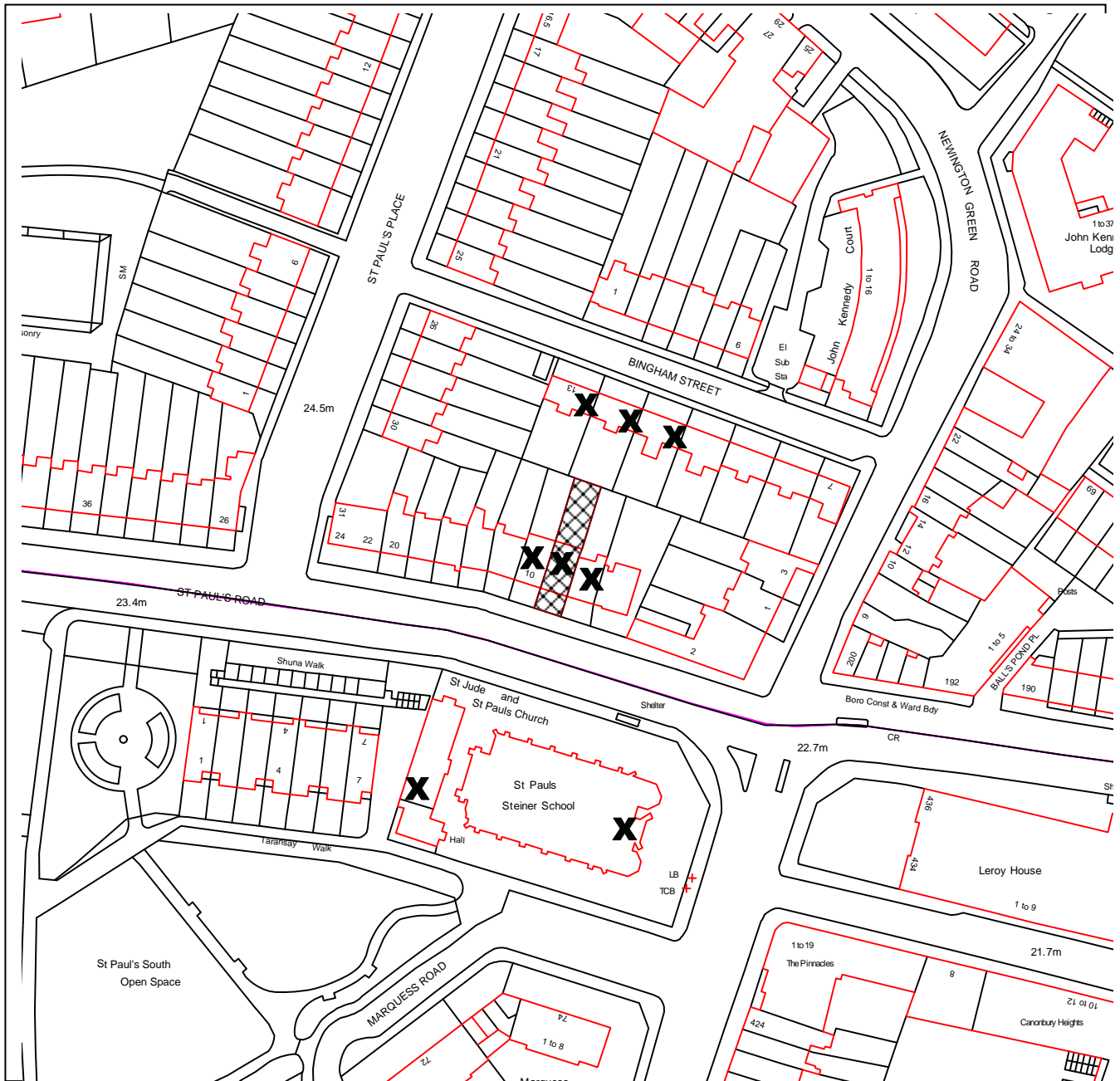
The following SPGs and/or SPDs are relevant:

Islington Local Plan
Canonbury Conservation Area Design
Guide
Urban Design Guide

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ISLINGTON



DEVELOPMENT MANAGEMENT

PLANNING APPLICATION REF NO: P2014/1208/FUL

LOCATION: 8 ST. PAUL'S ROAD, LONDON N1 2QN

SCALE: 1:1250

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PLANNING COMMITTEE REPORT

Development Management Service
 Planning and Development Division
 Environment and Regeneration Department
 PO Box 333
 222 Upper Street
 LONDON N1 1YA

PLANNING SUB-COMMITTEE B		NON EXEMPT
Date:	18 th September 2014	

Application number	P121391
Application type	Full Planning (Council's Own)
Ward	St. Georges
Listed building	Locally Listed
Conservation area	No
Development Plan Context	None
Licensing Implications	None
Site Address	Brecknock Estate, (16 Blocks) Brecknock Road, Islington, London, N19 5AN
Proposal	Installation of new boiler flues and plume managements kits.

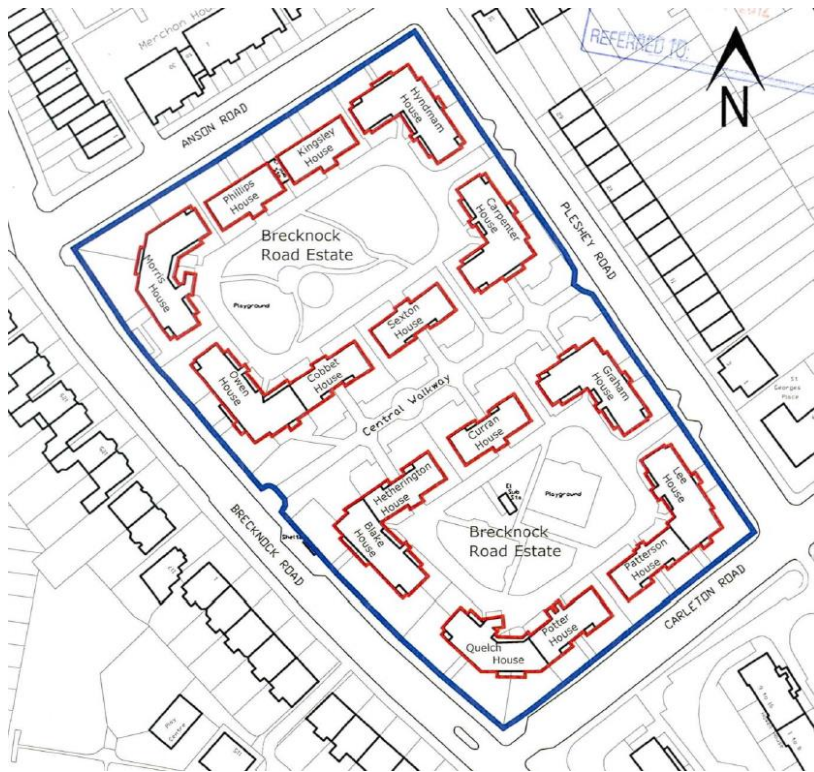
Case Officer	Krystyna Williams
Applicant	Mr Paul Croom Islington Council
Agent	Mears Projects Ltd

1. RECOMMENDATION

The Committee is asked to resolve to **GRANT** planning permission:

1. subject to the conditions set out in Appendix 1;

2. SITE PLAN (site outlined in black)



3. PHOTOS OF SITE/STREET



Image 1: View looking south east from the corner of Brecknock Road and Anson Road (Morris House)



Image 2: View of Kingsley House and Phillips House along Anson Road



Image 3: View of the inside of Brecknock Estate viewed from the central walkway

4. SUMMARY

- 4.1 Full planning permission is sought for the installation of new boiler flues and plume managements kits to 16 residential blocks at Brecknock Estate.
- 4.2 The application site consists of 16 residential blocks each five storeys in height, bounded by Carleton Road to the south, Brecknock Road to the west, Anson Road to the north and Pleshey Road to the east. The blocks are arranged in two groups of eight which back onto and enclose communal gardens and play space. The site is not located within a designated

conservation nor are the buildings listed. However the site is boarded to the east by the Tufnell Park Conservation Area.

- 4.3 The new boiler flues and plume management kits would be installed to properties at the estate where new central heating boilers are to be installed. All external elements of the flue kits will be black to match the existing piping at the blocks. Where practical the new flues are proposed to the 'inside' elevations of the buildings which face into the communal courtyards in an attempt to avoid any visual impact to the surrounding streetscene.

5. SITE AND SURROUNDING

- 5.1 The application site consists of 16 residential blocks each five storeys in height, bounded by Carleton Road to the south, Brecknock Road to the west, Anson Road to the north and Pleshey Road to the east. The blocks are arranged in two groups of eight with a central walkway through the site. The residential blocks back onto and enclose communal gardens and play space. The site is not located within a designated conservation nor are the buildings listed. However the site is boarded to the east by the Tufnell Park Conservation Area.

6. PROPOSAL (IN DETAIL)

- 6.1 Full planning permission is sought for the installation of new boiler flues and plume managements kits to 16 residential blocks at Brecknock Estate.
- 6.2 The reason for the planning application is due to LB Islington's Housing Department seeking to install new central heating boilers to a majority of the tenanted properties which additionally will require the fitting of horizontal flues and plume management kits.
- 6.3 All external elements of the flue kits will be black to match existing piping at the buildings. The proposed locations of the new flues is somewhat dictated by the individual layout of the properties but great attempt has been made to align the new flues to result in a uniform appearance throughout the estate. Where possible the new flues are located to the rear elevations of the buildings which front onto the internal courtyard / gardens to minimise any impact on the surrounding streetscene and adjoining Tufnell Park Conservation Area to the east of the site.

7. RELEVANT HISTORY:

PLANNING APPLICATIONS:

- 7.1 **P2014/3482/FUL** - Replacement of all single glazed windows with double glazed, aluminium framed windows. Currently invalid.
- P112791** - Replacement of all single glazed windows with double glazed UPVC. Withdrawn by Council 13/06/2013.

P112787 - Replacement of all single glazed windows with Double glazed UPVC. Withdrawn by Council 21/03/2013.

P112785 - Replacement of existing single glazed crittal windows and doors with double glazed aluminium. Refused 29/03/2012.

REASON: The aluminium material proposed and the detailed design of the replacement windows would result in the loss of a traditional sympathetic material and the introduction of extra solidity to the windows. This is considered to be detrimental to the visual appearance of the Brecknock Estate and the surrounding area as well as reducing the levels of light some of the rooms in this estate will receive. The proposal is therefore contrary to Policy 7.6 of the London Plan, policy CS 9 of the Islington Core Strategy, policies D3, D4 and D11 of the Islington Unitary development Plan 2002 and section 2.3 of the Islington Urban Design Guide 2006.

REASON: The submitted plans do not accurately reflect the positioning and design of some of the windows which exist on the estate to allow for a full and proper assessment of the proposal in accordance with the Town and Country Planning Act 1990.

P022805 - Replacement of the existing main entrance doors to 16 houses and removal of brick balcony fronts and replacement with metal railings. Approved subject to conditions dated 13/02/2003.

ENFORCEMENT:

7.2 None

PRE-APPLICATION ADVICE:

7.3 None.

8. CONSULTATION

Public Consultation

8.1 A total of 377 letters were sent to occupants of adjoining and nearby properties dated 13/07/2012. A further round of consultation was undertaken on the 06/12/2013 following the submission of revised documents.

8.2 There has been one letter of objection received to this proposal from the Brecknock Road Estate Steering Group. The concerns can be summarised as follows:

- Inadequate and inaccurate plans (paragraphs 10.1 – 10.5);
- Appearance / locations of proposed flues (paragraphs 10.1 – 10.5).

External Consultees

8.4 None.

Internal Consultees

Design and Conservation

8.5 The Design and Conservation Officer has no objection following the submission of amended drawings which include the property numbers and amended labelling. The position of the flues has been amended, locating a majority to the rear elevations of the buildings. This is now acceptable.

9. RELEVANT POLICIES

Details of all relevant policies and guidance notes are attached in Appendix 2. This report considers the proposal against the following development plan documents.

National Guidance

9.1 The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

9.2 Development Plan

The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, The Finsbury Local Plan 2013 and Site Allocations 2013. The policies of the Development Plan are considered relevant to this application and are listed at Appendix 2 to this report.

9.3 Designations

The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, and Site Allocations 2013:

- **None**

Supplementary Planning Guidance (SPG) / Document (SPD)

9.4 The SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

ENVIRONMENTAL IMPACT ASSESSMENT

9.5 Not required

10. ASSESSMENT

The main issues arising from this proposal relate to:

- Design and Appearance;
- Neighbouring amenity impacts; and

Design and Appearance

- 10.1 The application site comprises 16 residential blocks each of five storeys in height, bounded by Carleton Road to the south, Brecknock Road to the west, Anson Road to the north and Pleshey Road to the east. The blocks are arranged in two groups of eight which back onto and enclose communal gardens and play space. The site is not located within a designated conservation area but the building is locally listed. However the site is bordered to the east by the Tufnell Park Conservation Area.
- 10.2 The new boiler flues and plume management kits would be installed to properties at the estate where new central heating boilers are to be installed. All external elements of the flue kits will be black to match the existing piping at the blocks. Where practical the new flues are proposed to the 'inside' elevations of the buildings which face into the communal courtyards in an attempt to avoid any visual impact to the surrounding streetscene.
- 10.3 The drawings were initially unclear with property numbers not indicated and the labelling not accurate. This was raised in the one objection received from the Brecknock Road Estate Steering Group. Amended drawings have been submitted which are clear and accurate with building numbers annotated as requested and the position of the proposed flues corrected where necessary. Following the submission of amended drawings a further round of consultation was undertaken and no further objections were received.
- 10.4 All external elements of the flue kits will be black to match existing piping at the buildings. The location of the new flues is to a degree dictated by the individual layout of the properties. The flues have been aligned as far as practical given site constraints. Flues have also been re-positioned from the onward (front facing) elevations to the rear elevations in all instances where it is possible. This is considered favourable so not to detrimentally impact upon the adjoining Tufnell Park Conservation Area to the east of the site. The flues have also been re-located to be positioned under balconies or under soffits to ensure they are as discrete as possible. Overall, the flues do not affect the character and appearance of the locally listed building or the adjoining conservation area.
- 10.5 Overall, and taking into consideration the location and appearance of the residential buildings, the proposed works required to upgrade the boiler systems at the properties is acceptable and would not detract from the appearance of the locally listed host building, or surrounding streetscene and adjoining conservation area. The location and appearance is subsequently considered acceptable in accordance with policy CS9 of the Core Strategy 2011, and policies DM2.1 (Design) and DM2.3 (Heritage) of the Development Management Policies 2013.

Neighbouring Amenity

- 10.6 Consideration has been given to the effect of the proposed development on neighbouring amenities in terms of overlooking, loss of privacy, loss of light and outlook.
- 10.7 There has been one objection raised by the Brecknock Road Estate Steering Group. The concerns relate to the accuracy/detail of the submitted plans and the appearance which has been addressed in paragraphs 10.1 – 10.5.
- 10.8 Overall, there is not considered to be an unacceptable adverse material impact on residential amenity in terms of loss of light, loss of privacy, sense of enclosure or overlooking as a result of the proposed development in compliance with policy DM2.1 of Islington's Development Management Policies 2013.

11.0 SUMMARY AND CONCLUSION

Summary

- 11.1 In accordance with the above assessment, it is considered that the proposed development is consistent with the policies of the London Plan, the Islington Core Strategy, the Islington Development Plan and associated Supplementary Planning Documents and should be approved accordingly.

Conclusion

- 11.2 The proposed development is considered to be acceptable as it would not have any detrimental impact on the character and appearance of the locally listed host building or the adjoining Tufnell Park Conservation Area. Nor would it have an undue effect on the amenities of surrounding residents and would comply with policy CS9 (Protecting and Enhancing Islington's Built and Historic Environment) of the Core Strategy; policies DM2.1 (Design) and DM2.3 (Heritage) of Islington's Development Management Policies June 2013 and Islington's Conservation Area Design Guidelines (2002).
- 11.3 It is recommended that planning permission be granted subject to conditions for the reasons and details as set out in Appendix 1 – RECOMMENDATIONS.

APPENDIX 1 – RECOMMENDATIONS

RECOMMENDATION A

That the grant of planning permission be subject to conditions to secure the following:

List of Conditions:

1	Commencement
	CONDITION: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.

	REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).
2	Approved plans list
	<p>CONDITION: The development hereby approved shall be carried out in accordance with the following approved plans:</p> <p>Site Location Plan BRF SL; BRF01 Rev A; BRF02 Rev A; BRF03 Rev A; BRF11 Rev A; BRF12 Rev A; BRF13 Rev A; Design & Access Statement prepared by Mears Projects; Flue Installation High Efficiency Condensing Boilers prepared by Glow worm.</p> <p>REASON: To comply with Section 70(1)(a) of the Town and Country Act 1990 as amended and the Reason for Grant and also for the avoidance of doubt and in the interest of proper planning.</p>
3	Materials to Match
	<p>ALL EXTERNAL AND INTERNAL WORKS TO MATCH (COMPLIANCE): All new external and internal works and finishes and works of making good to the retained fabric shall match the existing adjacent work with regard to the methods used and to material, colour, texture and profile. All such works and finishes shall be maintained as such thereafter.</p> <p>REASON: In order to safeguard the special architectural or historic interest of the heritage asset.</p>
4	Materials
	<p>CONDITION: The flues shall be black in colour and maintained as such thereafter.</p> <p>REASON: To ensure that the Authority may be satisfied with the external appearance of the building.</p>

List of Informatives:

1	Positive statement
	To assist applicants in a positive manner, the Local Planning Authority has produced policies and written guidance, all of which is available on the Council's website. A pre-application advice service is also offered and encouraged. Whilst no pre-application discussions were entered into, the policy advice and guidance available on the website was followed by the applicant. The applicant therefore worked in a proactive manner taking into consideration the policies and guidance available to them, and therefore the LPA delivered a positive decision in a timely manner in accordance with the requirements of the NPPF.

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan polices and guidance notes pertinent to the determination of this planning application.

1. **National Guidance**

The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

2. Development Plan

The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013 and the Finsbury Local Plan 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2011 - Spatial Development Strategy for Greater London

1 Context and strategy
Policy 1.1 Delivering the strategic vision and objectives for London

5 London's response to climate change
Policy 5.3 Sustainable design and construction

7 London's living places and spaces
Policy 7.1 Building London's neighbourhoods and communities
Policy 7.4 Local character
Policy 7.6 Architecture
Policy 7.8 Heritage assets and archaeology

B) Islington Core Strategy 2011

Spatial Strategy
Policy CS8 (Enhancing Islington's Character)

Strategic Policies
Policy CS9 (Protecting and Enhancing Islington's Built and Historic Environment)

C) Development Management Policies June 2013

Design and Heritage

DM2.1 Design
DM2.3 Heritage

3. Designations

The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

- **Hillmarton Conservation Area**

4. Supplementary Planning Guidance (SPG) / Document (SPD)

The following SPGs and/or SPDs are relevant:

Islington Local Development Plan **London Plan**
- **Conservation Area Design Guidelines** - **Sustainable Design & Construction**

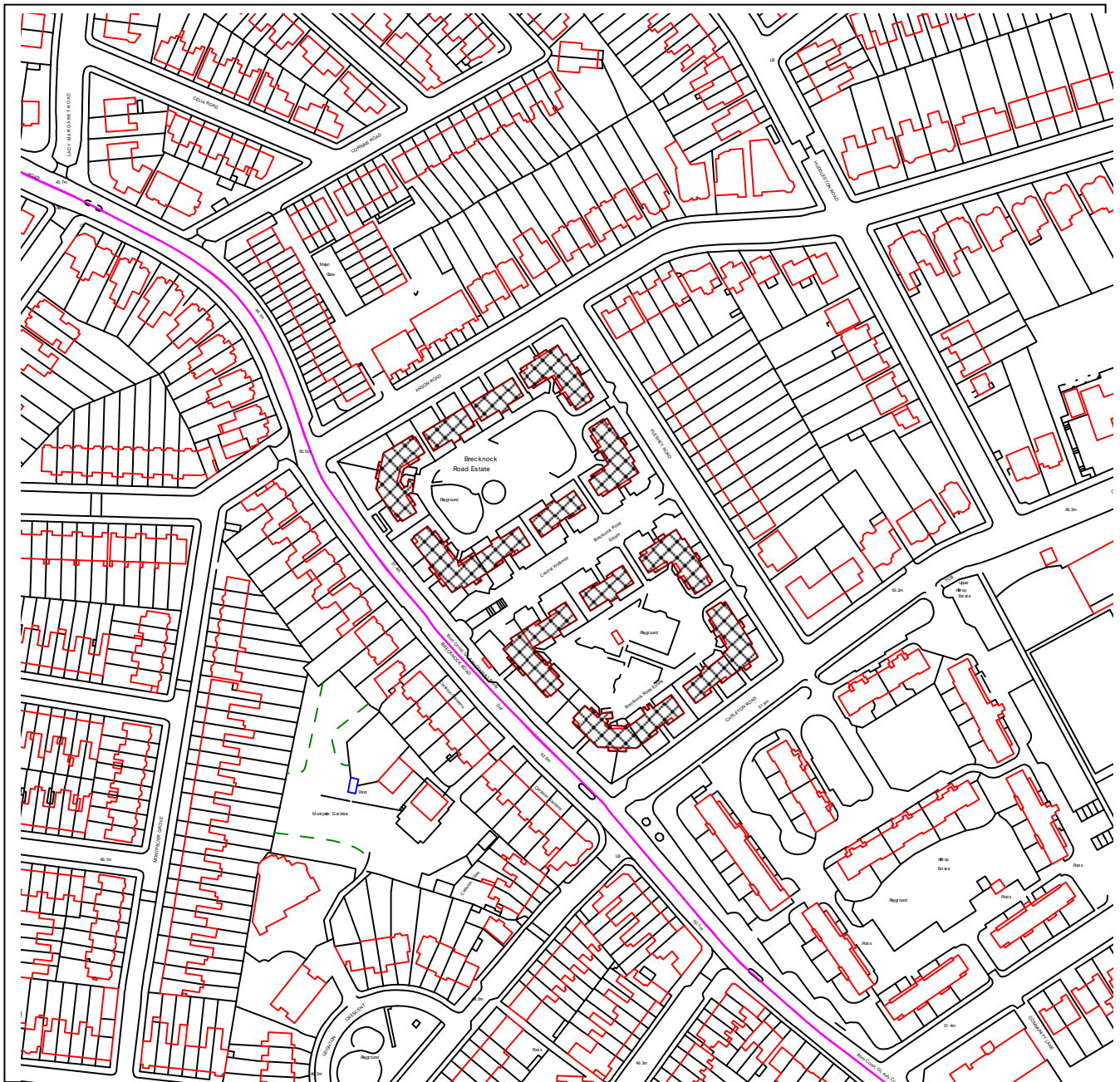
(2002)

- **Urban Design Guide (2006)**

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ISLINGTON



DEVELOPMENT MANAGEMENT

PLANNING APPLICATION REF NO: P121391

LOCATION: BRECKNOCK ESTATE, (16 BLOCKS) BRECKNOCK ROAD, ISLINGTON, LONDON, N19 5AN

SCALE: 1:2500

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PLANNING COMMITTEE REPORT



PLANNING SUB- COMMITTEE B		AGENDA ITEM NO:	
Date:	18th September 2014	NON-EXEMPT	

Application number	P2014/1538/FUL
Application type	Full Planning Application
Ward	Finsbury Park Ward
Listed Building	Locally Listed
Conservation Area	Not in a Conservation Area
Development Plan Context	n/a
Licensing Implications	n/a
Site Address	Lower ground floor, The Beaux-Arts Building 10-18 Manor Gardens N7 6JT
Proposal	Change of use of plant area to provide 1 x 1 bedroom residential unit at lower ground floor within the western end of the Beaux Arts Building and relocation of plant equipment to lower ground storage area together with the replacement of existing vents (x 4) at lower ground with windows (x2) and glazing with metal grille

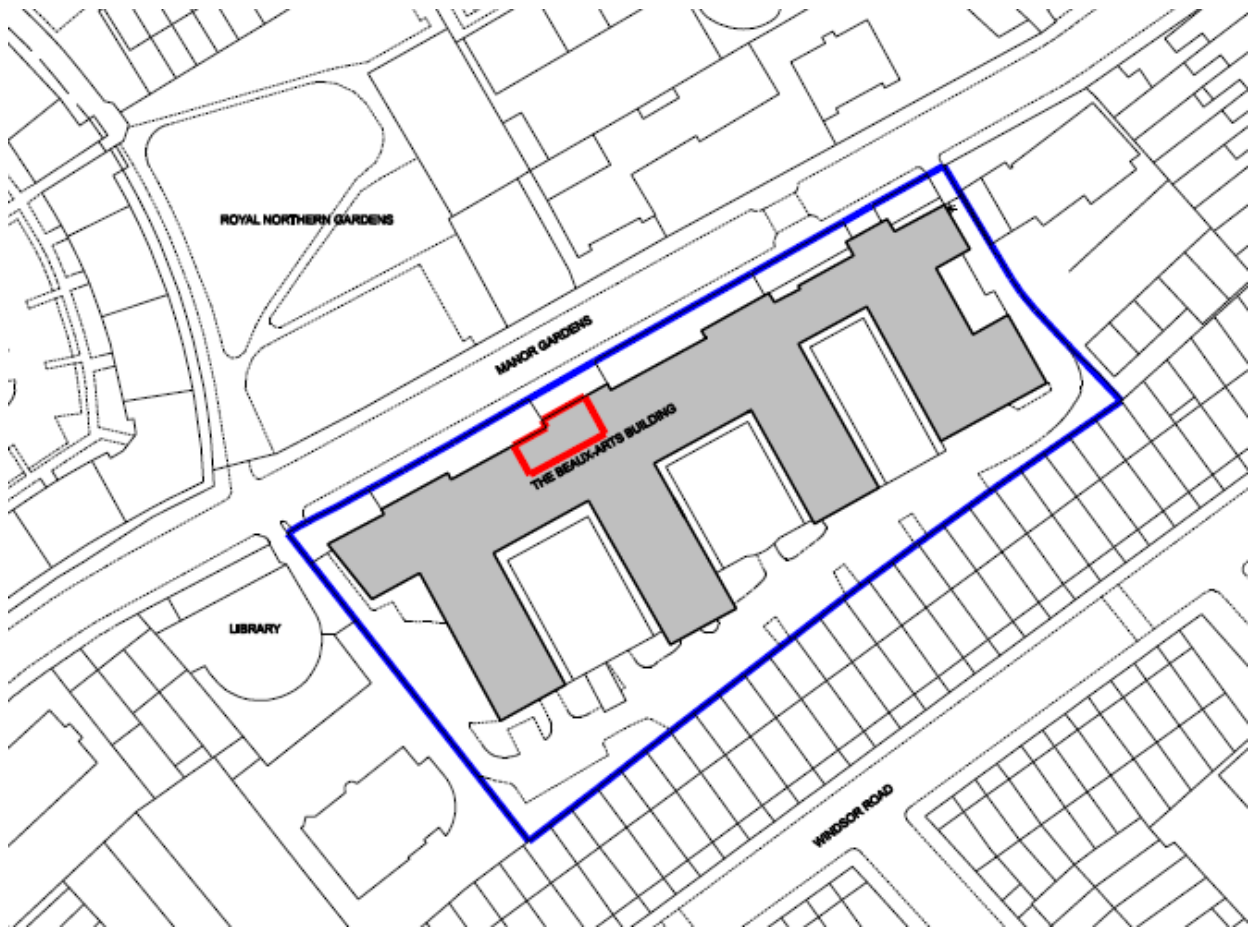
Case Officer	Eoin Concannon
Applicant	Bloomfold Ltd
Agent	Mr Matthew Brewer

1. RECOMMENDATION

The Committee is asked to resolve to **GRANT** planning permission:

1. subject to the conditions set out in Appendix 1
2. subject to completion of a Deed of Planning Obligation made under section 106 of the Town and Country Planning Act 1990 securing the heads of terms as set out in Appendix 1.

2 SITE PLAN (SITE OUTLINED IN BLACK)



3 PHOTOS OF SITE/STREET

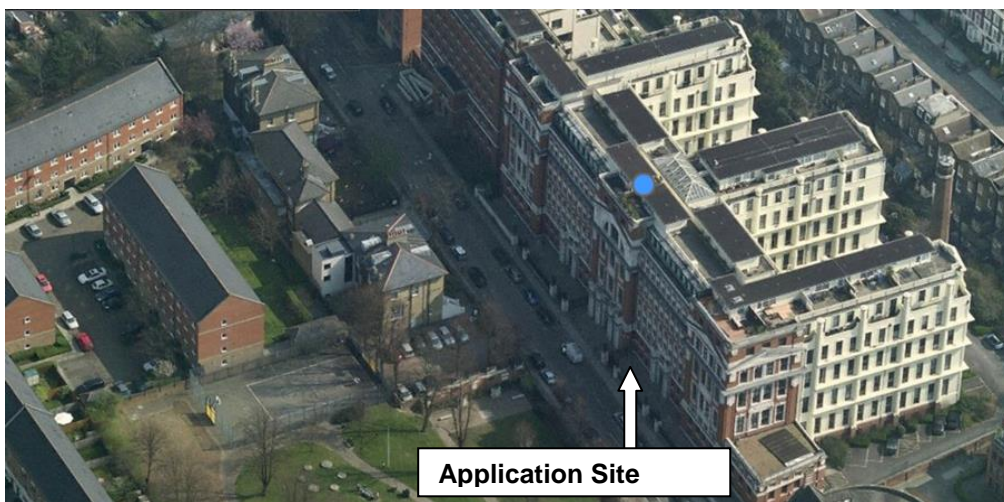


Photo 1: Aerial view of The Beaux Arts Building, 10-18 Manor Gardens



Photo 2: Main entrance Beaux-Arts Building



Photo 3: View of landscaping area in front of proposed residential unit



Photo 4: View of landscaping area in front of proposed residential unit



Photo 5: View of landscaping area in front of proposed residential unit



Photo 6: Outlook of landscape area in front of main windows

4 SUMMARY

- 4.1 Planning permission is sought for the conversion of a plant storage area at lower ground floor to provide one additional 1-bedroom residential unit and relocating of the existing equipment to the storage area. It also seeks permission to replace existing vents at lower ground level with windows and a metal grille with internal glazing as well as the replacement of the existing lower ground windows serving the existing plant area.
- 4.2 The proposal would be situated within a large residential complex; as such the additional unit would be acceptable in principle. The issues arising from the application are the standard of the new residential unit created by the conversion, the impact on the character and appearance of the host building, the impact on the neighbouring amenity of the adjoining and surrounding residential properties and the impact of the relocated plant equipment on neighbouring amenity.
- 4.3 Amended plans have been received during the processing of the application which addresses concerns regarding the outlook to the flat as well as the relocated plant equipment. The plant equipment would be now positioned adjacent to a cycle storage area. This arrangement accommodates both the cycle and plant equipment and is considered acceptable.
- 4.4 It must be noted that the existing storage space, currently utilised for cycle racks, was not designated or conditioned as cycle storage under the original planning permission (Ref: P051356). As such, it would not be justified in refusing the application on the loss of a cycle store or storage space in general.
- 4.5 The remainder of the scheme is also deemed acceptable. The replacement of vents with windows (metal grille feature) would not detract from the appearance of the building. The overall size of the residential unit and living space generally conforms with the Council's living standards. Although Daylight/Sunlight analysis indicates that the one window serving a kitchen would be marginally below the BRE guidance standards, on it would not be justified to refuse the proposal on lack of daylight given it serves a kitchen window and there are other windows serving this room.
- 4.6 As such, the application is considered acceptable and recommended for approval.

5 SITE AND SURROUNDING

- 5.1 The application site is situated on the southern side of Manor Gardens and comprises a large eleven storey building known as the Beaux Arts Building.
- 5.2 The building is a former office building built to house the GPO Money Order Office and was completed in 1911. It has since been converted to residential

units in the 1990's. The area in general is a mixture of residential, office & community uses with Royal Manor Gardens directly north of the site.

- 5.3 The subject property is of grand architectural quality and is a locally listed building. It does not lie within a Conservation Area nor is it statutory listed.

6 Proposal (in Detail)

- 6.1 The application seeks planning permission for the change of use of lower ground plant area to provide a 1 bedroom residential unit. The flat would have a floor space of approximately 83 square metres and would comprise an open plan kitchen/living and dining space, one double bedroom and a large storage room.
- 6.2 Each of the rooms (apart from storage room) would be served by north facing windows. To the front of the site, a landscaped area (6 metres in depth) would separate the site from the site boundary (pedestrian footpath) with the exception of the window serving the kitchen which would be positioned further forward adjacent to the main entrance door.
- 6.3 The sole exterior alteration would involve replacing 2 existing louvre vents (at lower ground level) on the main entrance door with glazing with metal grille which would be finished in a black coat of paint. The existing windows would also be replaced to match the windows on upper floors.
- 6.4 Part of the proposal would involve the relocation of existing plant equipment to an area identified as storage. The amended plans submitted shows the repositioned plant equipment situated adjacent to a bicycle storage area (8 racks for 64 bicycles).

7 RELEVANT HISTORY

Planning Applications:

- 7.1 **932006** - Alterations and change of use of existing buildings to provide 128 flats doctors' surgery community space health club/gymnasium and associated car parking. (**Approved 27/07/1995**)
- 7.2 **951356** - Partial demolition and conversion of existing buildings to provide 162 flats, with community space, doctor's surgery and residents' facilities at ground and lower ground floor levels, with associated car parking. (**Approved 08/12/2003**)
- 7.3 **960416** - Amendment to planning permission dated 17th January, 1996, to provide an additional 20 flats, making a total of 182 flats. (**Approved 09/04/1997**)
- 7.4 **971605** - Provision of eight additional flats (two x 2 bedroom, four 1 bedroom and two with gallery) at ground and lower ground floor levels, in place of vacant space formerly designated as surgery. (**Approved 26/11/98**)

- 7.5 **P100245** - Insertion of mezzanine level into two areas of the foyer. Formation of two 1 bedroom maisonettes in adapted parts of foyer. Insertion of staircase between ground floor & mezzanine linking existing reception office & post room on ground floor with mezzanine level store, to allow the conversion of the combined space into a 2 bedroom maisonette **(Non-determination appeal dismissed 28/01/11)**
- 7.6 **P110321** - Conversion to provide one 2-bedroom maisonette **(Approved 19/07/11)**.
- 7.7 **P112099** - Construction of sixth floor extension to create one x 2 bedroom (four person) flat including new roof terrace Withdrawn **20/02/13**
- 7.8 **P2013/0698/FUL** - Extension at seventh floor level to enlarge existing flat plus minor alterations. **(Approved 02/05/13)**

Enforcement:

- 7.9 **E/2014/048** Building works - no planning permission (P2014/1536/FUL not determined yet). **(Case closed as no evidence of breach in planning)**

Pre- Application Advice:

- 7.10 None

8 CONSULTATION

Public Consultation

- 8.1 Letters were sent to occupants adjoining and nearby properties on the 14th May 2014. A site notice and press advert was also displayed providing members of the public with 21 days to comment.
- 8.2 Following receipt of amended plans, further letters were sent to the same adjoining and nearby properties on the 24th July 2014 providing local residents with the opportunity to make further comments. The public consultation of the application therefore expired on 14/08/14; however it is the Council's practice to continue to consider representations made up until the date of a decision.
- 8.3 At the time of the writing of this report, 28 letters of objections had been received (22 letters from residence of the building and 6 letters from residents of the surrounding area). The issues raised included (and the paragraph numbers responding to the issues in brackets).
- Overdevelopment of the site (10.2)
 - Lack of space for amenity facilities serving the whole building. (10.25-10.26)
 - Current plant equipment is not redundant and forms important infrastructure functions for the building (water tank, electrical wiring) (10.25-10.26)

- Cycle storage space would be reduced significantly, this area has recently been refurbished to accommodate more bicycles (10.27-10.30)
- Concerns raised regarding the privacy of new occupants with the positioning of windows (10.7-10.13)
- Noise issues to residents due to layout of the properties and construction. (10.7-10.13, 10.17)
- General layout of flat and the height of the windows would lead to a poor standard of living for future occupiers (10.7-10.13)
- Daylight and sunlight issues for the new occupants (10.7-10.13)
- Loss of bike store facilities would impact on the amount of people using sustainable transport. (10.20; 10.27-10.30)
- Use of area to front of the yard for as through way for deliveries & fire meeting point (10.31)

Internal consultees

Design & Conservation

- 8.4 The replacement of the vent and windows would not impact on the heritage of the building.

Acoustic Officer

- 8.5 No objections subject to sound insulation measures

Access Officer

- 8.6 The general layout of the flat conforms with the lifetime homes criteria.

9 REVELANT POLICIES

Details of all relevant policies and guidance notes are attached in Appendix 2. This report considers the proposal against the following development plan documents.

National Guidance

- 9.1 The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

Development Plan

- 9.2 The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The policies of the Development Plan are considered relevant to this application and are listed at Appendix 2 to this report.

Supplementary Planning Guidance (SPG) / Document (SPD)

- 9.3 The relevant SPGs and/or SPDs are listed in Appendix 2.

10 ASSESSMENT

- 10.1 The main issues arising from this proposal relate to the:

- Principle of the development
- Design
- Quality of resulting accommodation
- Private outdoor space
- Neighbour Amenity
- Access
- Highways & Transportation
- Small sites contribution
- Other issues

Principle of the development

- 10.2 The proposal is situated in a large residential building which houses 190 residential units. As such the additional residential unit in this building would be acceptable in principle. The increase of one additional unit within the building would not lead to overdevelopment. The proposed plans show that both the plant equipment and cycle storage area could be accommodated within the existing storage area on the opposite side of the corridor. The level of floorspace provided for this flat would also meet the floor space standards and thereby could not be considered overdevelopment.
- 10.3 Although, there is a greater demand for 2 bedrooms units given the limitations of the site (to provide a second bedroom), a 1 bedroom unit would be acceptable in this instance. The proposal would meet the remaining standards including suitable living standards, amenity, access, other and contributions to affordable housing and these issues are addressed in the remainder of the report.

Design

- 10.4 The proposed exterior changes would be limited to the lower ground floor level windows and two existing louvre vents which serve the existing plant room. The louvre vents would be replaced with glazing and metal grilles. Each metal grille would have black coated finish and would add an interesting visual feature to the entrance.
- 10.5 The replacement of the remaining windows at lower ground would match the materials of the existing fenestration and respect the form and character of the street frontage.
- 10.6 As such, the proposed exterior alterations would not cause harm to historic plan form, would involve minimal loss of historic fabric and would not cause harm to the retained fabric, visual amenity or the setting of heritage assets, therefore, would not adversely affect the special architectural or historic interest of the listed building. The proposed development is considered to accord with Core Strategy policies CS8 (Enhancing Islington's Character), CS9 (Protecting and Enhancing Islington's Built and Historic Environment), and Development Management policies DM2.1 (Design), DM2.3 (Heritage), & Islington's Urban Design Guidance 2006.

Quality of resulting accommodation

- 10.7 The proposal would involve the creation of a 1 bedroom flat at lower ground floor level. The proposed unit would provide a floor space of 83 square metres which exceeds the required internal space standards for a 1 bedroom flat (50 square metres) and is in compliance with local and national standards.
- 10.8 Both the living space (31 square metres) and bedroom (17 square metres) would be a suitable size; while a further room provides a generous storage space for the residential unit. This storage space is sufficient in size to include cycle storage arrangement in compliance with the Council's transport policies. Both living room and bedroom would be served by two windows each. Given their positioning at lower ground floor level, concerns have been raised regarding the daylight into both rooms. The applicant has provided a daylight/sunlight assessment.
- 10.9 The results from the daylight assessment concludes that the windows serving both the bedroom (Room 4) and living/dining room (Room 3) would have an Average Daylight Factor (ADF) above the minimum requirement set out in the BRE guidelines. The results of this assessment indicate that the bedroom (R4) would score an ADF percentage of 2.48% which is considerably higher than the minimum (1%) for this type of room set out in the BRE guidance.
- 10.10 Similarly, the living/dining space would have an ADF percentage of 1.81% which is in excess of the minimum for living room uses (1.5%) and marginally below the average for kitchen spaces (2%). In light of this, the location of the kitchen work top at the front adjacent to the windows would maximise the light to this space. Given the orientation of the building to the north, the sunlight to

each window would be limited and similar to those of the existing flats that are also north facing at this level. Due to the constraints of this historical building, some of these existing lower ground floor flats are also single aspect with smaller window openings. It would be unreasonable to refuse the application on failure to provide dual aspect windows considering that most of the existing residential units are single aspect.

- 10.11 As such given the results of the daylight/sunlight assessment provided, it is considered that the proposed residential unit would receive sufficient daylight into to each of the main habitable rooms. It would therefore not be justifiable in refusing the application on this ground.
- 10.12 A further issue to be considered relates to the outlook from each of the windows serving the habitable space. The plans have been amended during the processing of the application with the raising of the floor level by 400mm. This would improve the outlook with the increase in floor height improving the visibility from each window than what had initially been submitted. As indicated, the kitchen window would be situated to the front and faces onto the street. Whilst this relationship is not ideal with minimum outlook, given constraints of the site and the overall size of the flat, on balance it would be acceptable in this instance. The remaining windows serving the main living/dining and bedroom would project onto a six metre deep buffer of landscaping with boundary railings separating the site from the street. The six metre deep soft landscaped area would provide sufficient gap from the street and railings to provide an adequate level of outlook to the flat. Given this relationship, it would be difficult to substantiate a reason for refusal on the grounds of outlook.
- 10.13 As such, on balance given the modifications to the proposed plans, the larger unit size and the existence of a deep landscaped area, the proposal would provide satisfactory living conditions in terms of daylight, outlook and internal space for future occupiers of the residential unit. It would therefore comply with policy DM 3.4 of the Islington Development Management Plan.

Private Outdoor space and facilities

- 10.14 Policy DM3.5 (Private outdoor space) states that all new development will be required to provide good quality outdoor space in form of gardens, balconies or roof terraces. The minimum amount of space required is 5 square metres for 1-2 person residential units. The proposal would not have access to an outdoor space however; it would be situated adjacent to a public park. It should also be noted that most of the existing residential units do not have access to private outdoor amenity space either. Furthermore, larger parks are also within walking distance. Given the overall size of the proposed residential unit and the existing park adjacent to the site, the lack of private outdoor space would be acceptable in this instance.

Neighbours Amenity

- 10.15 The proposed net increase of one flat within the property is not expected to cause any unreasonable amenity impacts in terms of noise and disturbance. The building currently houses over 190 residential units and the additional flat would not result in a detrimental impact to neighbours. There would be no overlooking issues or loss of privacy to the adjoining neighbours.
- 10.16 Concerns have been raised regarding the internal layout of the flat and potential noise disturbance to the residential unit above. A condition is recommended requiring noise insulation measures to protect the amenity of existing residential units above. Condition 5 & 6 cover this aspect.
- 10.17 With regard the construction works, the proposal would involve an internal renovation which would not lead to a significant level of disturbance. No significant operational development is proposed to the exterior of the building. Any internal works would be expected to occur during the normal working day. An informative can be attached highlighting good working practices to the applicant. As such, it is not considered necessary to require a construction management plan in this instance given the scale and nature of the proposed development.
- 10.18 As such, the proposal would not cause unacceptable or additional harm to the amenities of any adjoining occupiers and complies with policy DM2.1 of the Development Management Policies (2013).

Access

- 10.19 The proposal constitutes a conversion and given the existing site limitations, it is not considered reasonable to require the proposed residential units to meet the Lifetime Homes Standards or the requirements of the Accessible Housing SPD. However, the Access Officer has been consulted and is content that the layout would meet the accessible homes standards with access to a lift as well as suitably wide hallways. The proposed living space and bedroom sizes would provide easy adoptable space and as such it is considered to comply with the broad aims of policy DM2.2 (Inclusive Design) and Supplement Guidance (Inclusive Design in Islington 2014).

Highways and Transportation:

- 10.20 The proposed units would not be eligible to apply for car parking permits in the area. A condition has been recommended which removes parking permits as per Council transport policies. The transport policies would also require cycle storage for additional residential units. In this case of this application, one space would be required for cycle storage. This could be accommodated within the residential unit, given the generous storage space available (15 square metres). The site is also situated within an accessible transport route with a regular bus service situated on Holloway Road as well as overground and underground transport services within walking distance. As such, the

proposal would comply with the Council's transport policies including DM8.3 (Public Transport), DM8.4 (Walking and cycling) and DM8.5 (Vehicle parking).

Small sites contribution

- 10.21 The proposal is a minor application for a single residential unit which is below the affordable housing threshold of ten units (policies 3.13 of the London Plan and CS12G of the Islington Core Strategy).
- 10.22 The Council's Affordable Housing Small Sites Contributions Supplementary Planning Document (SPD) together with Core Strategy policy CS12 Part G states that development proposals below a threshold of 10 residential units (gross) will be required to provide a financial contribution towards affordable housing provision elsewhere in the borough.
- 10.23 A Unilateral Agreement has been signed and agreed with a payment of £50,000 secured towards affordable housing. On this basis it is considered that the applicant complies with the CS12 of the Core Strategy.

Other Issues

- 10.24 The objections received raised other concerns related to the proposed development including.

Lack of space for amenity facilities & relocation of redundant equipment

- 10.25 To accommodate the proposed residential unit, it would involve the relocation of existing plant equipment from the site to the opposite side within a storage room. Amended plans have been received during the processing of the application showing how the existing cycle storage area and plant equipment can be accommodated. The existing plans show that 64 bicycles are located within this space. Space would be retained for 64 cycles while also accommodating the plant equipment within the existing storage rooms. From the plans, it clearly shows that both the plant equipment and cycle store can be accommodated within this space.
- 10.26 It is considered that subject to complying with regulations outside the realms of the planning legislation, the new location for the plant equipment would be acceptable and could function properly in its new position. The remainder of the basement rooms would not be altered with facilities for refuse and landlord storage retained. Although the storage room would be reduced, these were not conditioned for storage as part of the original planning permission (ref. 951356 & ref. 960416) and it would not be justified in refusing the scheme on lack of communal storage space. That is a matter for the management of the building to resolve with occupiers. This was previously addressed in an

Appeal Decision on the same property (Appeal Ref. APP/V5570/A/10/2137531; Ref. P100245), in which the Inspectorate commented that internal changes relating to the provision of concierge facilities or meeting rooms are a matter between the owners and the leaseholders. This would also apply to communal storage facilities as it could be classed as concierge facilities.

Cycle Storage and the loss of this facility

- 10.27 A significant number of representations received raised concerns regarding the loss of a newly refurbished cycle store which is used by the residents of the complex to store their bicycles in a secure environment. This area of storage is outside the application site boundary but due to the repositioning of plant equipment would be affected.
- 10.28 In regard to the existing cycle store, there are no conditions or indications on the original planning permission (ref.951356 & ref. 960416) granted that the area identified would be used for cycle storage. The initial planning permission granted was secured in a time when cycle transport was not a significant factor in the determination of a scheme. Since then several local, regional and national policies have been adopted which places more emphasis on cycling and storage facilities for bicycles.
- 10.29 Notwithstanding the above, the existing plans indicate that there is presently cycle storage for 64 bicycles and the storeroom would continue to retain storage for 64 bicycles. Given the changes in policy towards more sustainable modes of transport, including provision of suitable cycle storage facilities, it would be important to retain space for cycle storage. It is recommended that a condition be attached securing the safe storage of 64 bicycles as indicated on the plans. This would ensure that the cycle parking would be provided for some of the residents within the building.
- 10.30 The reconfigured scheme would allow these cycle racks to be retained with no loss of cycle storage indicated between the existing and proposed plans. Although this may not be sufficient number of spaces for the total number of bicycles, it would guarantee that cycle storage is regulated by condition which is currently not the case. Any further cycle storage space requirements would be a matter for the management of the building to resolve with occupiers.

Use of area to front of the yard for as through way for deliveries & fire meeting point

10.31 One of the objections received indicates that the landscape area to the front of the flat is a fire meeting point and through way for deliveries on foot. At the time of the site inspection, there was no evidence of any deliveries taken place, with this landscaped section also enclosed by railings and gateway. Even with some daily deliveries, there would continue to be sufficient space between the habitable windows and walkway not to impact negatively on the occupant's amenity. The space could continue to operate as a fire meeting point as this would not impact on the occupier's amenity given the nature of the space.

11 SUMMARY & CONCLUSION

Summary

11.1 The proposed conversion to one bedroom unit and repositioning of plant equipment is considered to be acceptable with regards to land use, amenity, neighbour amenity, highways and transportation, access and affordable housing provision.

11.2 As such, the proposed development is considered to accord with the policies in the London plan, Islington Core Strategy, Islington Development Management Policies and the National Planning Policy Framework and as such is recommended for an approval subject to appropriate conditions.

Conclusion

11.3 It is recommended that planning permission be granted subject to conditions as set out in Appendix 1 – RECOMMENDATION A.

APPENDIX 1 – RECOMMENDATIONS

RECOMMENDATION A

That the grant of planning permission be subject to **conditions** to secure the following:

List of Conditions:

1.	Commencement (Compliance)
	CONDITION: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.
	REASON: To comply with the provisions of Section 91(1) (a) of the Town and

	Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).
2.	Approved Plans List: (Compliance)
	<p>DRAWING AND DOCUMENT NUMBERS: The development hereby approved shall be carried out in accordance with the following approved plans:</p> <p>[090373-A-P-00-D 201 D, 090373-A-E-Nth-D 203, 090373-A-E-Nth-D 204 A, 090373-A-P-00-D 210 E, 090373-A-P-Si-D 211 A, 090373-A-E-XX-D220, 090373-A-I-VA-D 016 B, , Planning Statement April 2014, Daylight & Sunlight Report 15th April 2014, Design & Access Statement 29th January 2014, Scheme Revisions - Planning and Design Statement Addendum]</p> <p>REASON: To comply with Section 70(1) (a) of the Town and Country Act 1990 as amended and also for the avoidance of doubt and in the interest of proper planning.</p>
3.	Parking
	<p>CONDITION: All future occupiers of the residential unit hereby approved shall not be eligible to obtain an on street residents' parking permit except:</p> <p>i) In the case of disabled persons;</p> <p>ii) In the case of units designated in this planning permission as "non car free"; or</p> <p>iii) In the case of the resident who is an existing holder of a residents' parking permit issued by the London Borough of Islington and has held the permit for a period of at least one year.</p> <p>REASON: To ensure that the development remains car free.</p>
4.	Materials
	<p>CONDITION: The facing materials of the development hereby approved shall match those detailed on the plans and those detailed in the application form hereby approved in terms of colour, texture, appearance and architectural detailing and shall be maintained as such thereafter.</p> <p>REASON: To ensure that the appearance of the building is acceptable.</p>
5.	Sound Insulation
	<p>CONDITION: Full particulars and details of a scheme for sound insulation between the proposed plant rooms and the residential use of the building shall be submitted to and approved in writing by the Local Planning Authority prior to superstructure works commencing on site.</p> <p>REASON: To ensure that the proposed development does not have an adverse impact on neighbouring residential amenity</p>
6.	Sound insulation
	<p>CONDITION: The sound insulation and noise control measures shall be carried out strictly in accordance with the details so approved, shall be implemented prior to the first occupation of the development hereby approved, shall be maintained as such thereafter and no change there from shall take place without the prior written consent of the Local Planning Authority."</p> <p>REASON: To ensure that the proposed development does not have an adverse impact on neighbouring residential amenity</p>
7.	Retain Cycle Store (DRAFT)
	CONDITION: The bicycle storage area(s) hereby identified in drawing No. 00373-A-P-00-D

	<p>210 E shall retain storage for no less than 64 bicycle spaces prior to the commencement of the development hereby approved and maintained as such thereafter.</p> <p>REASON: To ensure adequate cycle parking is available and easily accessible on site and to promote sustainable modes of transport.</p>
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List of Informatives:

1.	Positive Statement
	<p>To assist applicants in a positive manner, the Local Planning Authority has produced policies and written guidance, all of which is available on the Council's website.</p> <p>A pre-application advice service is also offered and encouraged. Whilst this wasn't taken up by the applicant, and although the scheme did not comply with guidance on receipt, the LPA acted in a proactive manner offering suggested improvements to the scheme (during application processing) to secure compliance with policies and written guidance. These were incorporated into the scheme by the applicant.</p> <p>This resulted in a scheme that accords with policy and guidance as a result of positive, proactive and collaborative working between the applicant, and the LPA during the application stages, with the decision issued in a timely manner in accordance with the NPPF.</p>
2.	Community Infrastructure Levy
	<p>Under the terms of the Planning Act 2008 (as amended) and Community Infrastructure Levy Regulations 2010 (as amended), this development is liable to pay the London Borough of Islington Community Infrastructure Levy (CIL) and the Mayor of London's Community Infrastructure Levy (CIL). These charges will be calculated in accordance with the London Borough of Islington CIL Charging Schedule 2014 and the Mayor of London's CIL Charging Schedule 2012. One of the development parties must now assume liability to pay CIL by submitting an Assumption of Liability Notice to the Council at cil@islington.gov.uk. The Council will then issue a Liability Notice setting out the amount of CIL payable on commencement of the development.</p> <p>Failure to submit a valid Assumption of Liability Notice and Commencement Notice prior to commencement of the development may result in surcharges being imposed and the development will not benefit from the 60 day payment window.</p> <p>Further information and all CIL forms are available on the Planning Portal at www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil and the Islington Council website at www.islington.gov.uk/cilinfo. Guidance on the Community Infrastructure Levy can be found on the National Planning Practice Guidance website at http://planningguidance.planningportal.gov.uk/blog/guidance/community-infrastructure-levy/.</p>

3.	Unilateral Undertaking
	You are advised that this permission has been granted subject to a legal agreement under Section 106 of the Town and Country Planning Act 1990.
4.	Other Legislation
	<p>You are reminded of the need to comply with other regulations/legislation outside the realms of the planning system - Building Regulations as well as Environment Health Regulations.</p> <p>Any construction works should take place within normal working day. The Pollution Control department lists the normal operating times below.</p> <div style="border: 1px solid black; padding: 5px; margin: 10px 0;"> <p>Delivery and operating times - the usual arrangements for noisy works are</p> <ul style="list-style-type: none"> ○ 8am –6pm Monday to Friday, ○ 8am – 1pm Saturdays; ○ no noisy work on Sundays or Public Holidays (unless by prior agreement in special circumstances) </div>

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plans polices and guidance notes pertinent to the determination of this planning application.

1 National Guidance

The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

2. Development Plan

The Development Plan is comprised of the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2011 - Spatial Development Strategy for Greater London

1 Context and strategy

Policy 3.3 (Increasing Housing Supply)
Policy 3.4 (Optimising Housing Potential)
Policy 3.5 (Quality of design of Housing Developments)
Policy 3.8 (Housing choice)
Policy 6.9 (Cycling)

B) Islington Core Strategy 2011

Strategic Policies

Policy CS8 (Enhancing Islington's Character)
Policy CS9 (Protecting and Enhancing Islington's Built and Historic Environment)

Infrastructure and Implementation

Policy CS12 (Meeting the housing challenge)

C) Development Management Policies June 2013

Design and Heritage

Design and Heritage Policies

Policy DM2.1 (Design)
Policy DM2.2 (Inclusive Design)
Policy DM2.3 (Heritage)

Housing

Policy DM3.3 Residential Conversions and Extensions
Policy DM3.4 Housing standards
Policy DM3.5 Private Outdoor Space
Policy DM3.7 Noise and Vibration

Shops, culture and services

Policy DM4.12 (Social and strategic infrastructure and cultural facilities)

Transport

Policy DM8.4 (Walking and cycling)
Policy DM8.5 (Vehicle Parking)
Policy DM8.6 (Delivery and servicing for new development)

Infrastructure and Implementation

Policy DM9.2 Planning Obligations

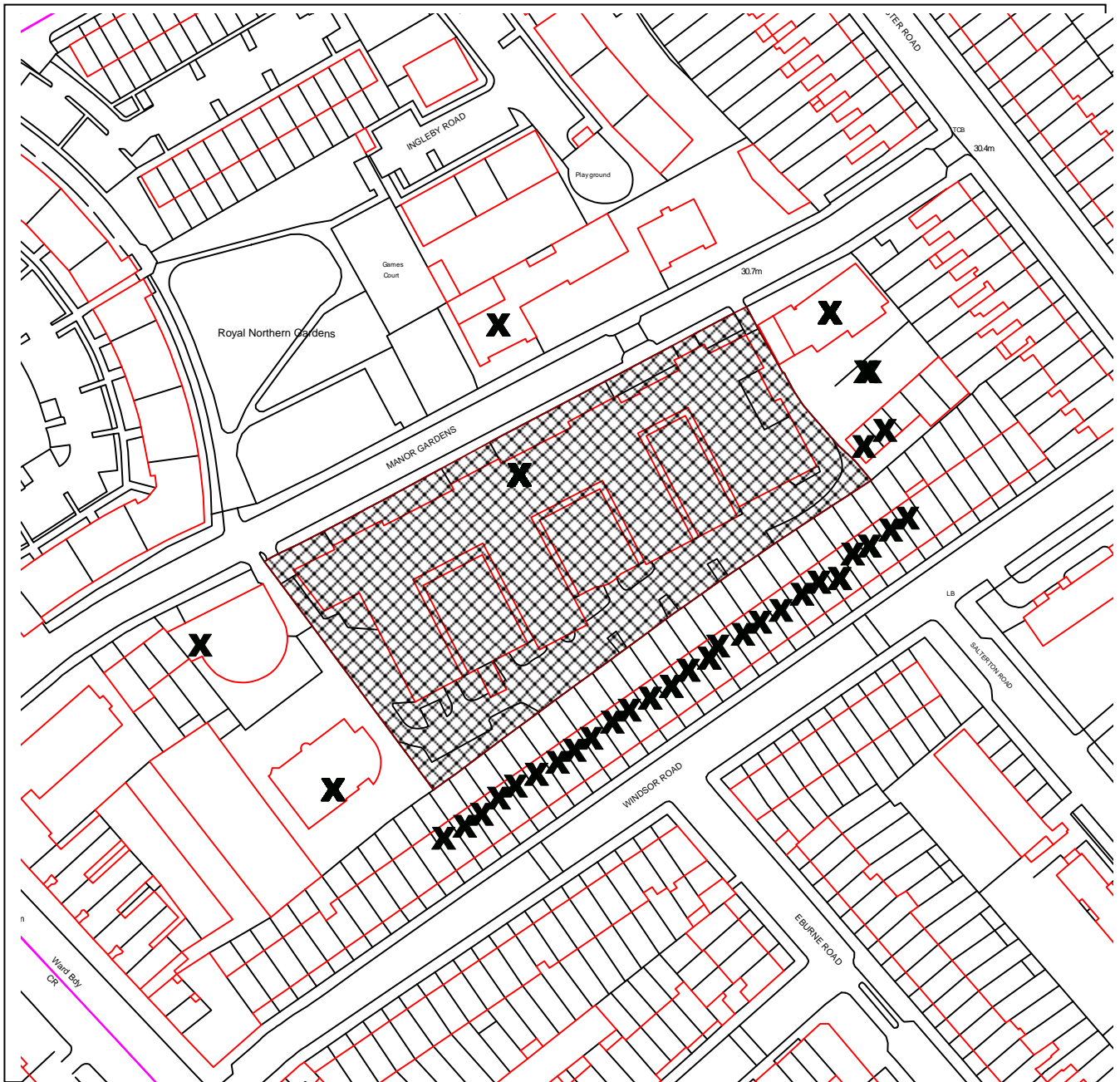
4. Supplementary Planning Guidance (SPG) / Document (SPD)

The following SPGs and/or SPDs are relevant:

- Urban Design Guide
- Inclusive Design in Islington
- Planning Obligations and S106
- Affordable Housing Small Sites SPD



ISLINGTON



DEVELOPMENT MANAGEMENT

PLANNING APPLICATION REF NO: P2014/1538/FUL

LOCATION: LOWER GROUND FLOOR, THE BEAUX-ARTS
BUILDING 10 - 18 MANOR GARDENS LONDON N7 6JT

SCALE: 1:1500

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